

# Southern Area Planning Committee

15<sup>th</sup> November 2018



## 7a) 18/06366/FUL & 18/06723/LBC Little Manor Nursing Home, Manor Farm Road, Milford, Salisbury, SP1 2RS

External and internal alterations / refurbishments of the historic, grade 2 listed part of a 24 bed residential care home. (Little Manor.) Together with the demolition of the recent (non-historically-significant) extensions to the rear, and construction of a Care Quality Commission (CQC) compliant replacement extension, increasing the capacity to 30 beds. Demolition of two small ancillary buildings. Associated landscaping works (Resubmission of 17/11250/FUL & 17/11681/LBC)

**Recommendation: Refuse**



Site Location Plan



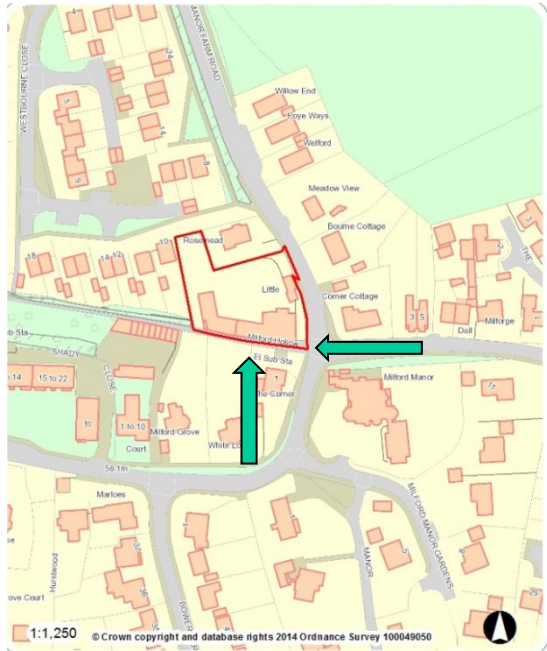
Aerial Photography



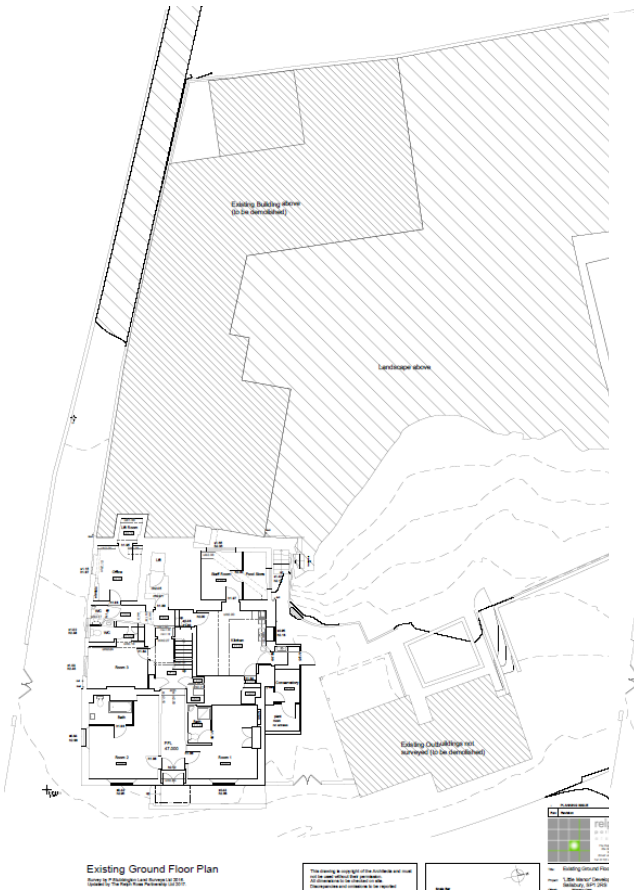
Existing elevations



# Milford Hollow (south) elevations



# Existing layout



Ground floor and  
demolition areas



First floor



Second floor

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## CARE ACCOMMODATION ASSESSMENT

Prepared in support of a planning application for the redevelopment of an existing care home to create improved and additional accommodation at,

Little Manor, Manor Farm Road, Milford, Salisbury

June 2018

Version: 1

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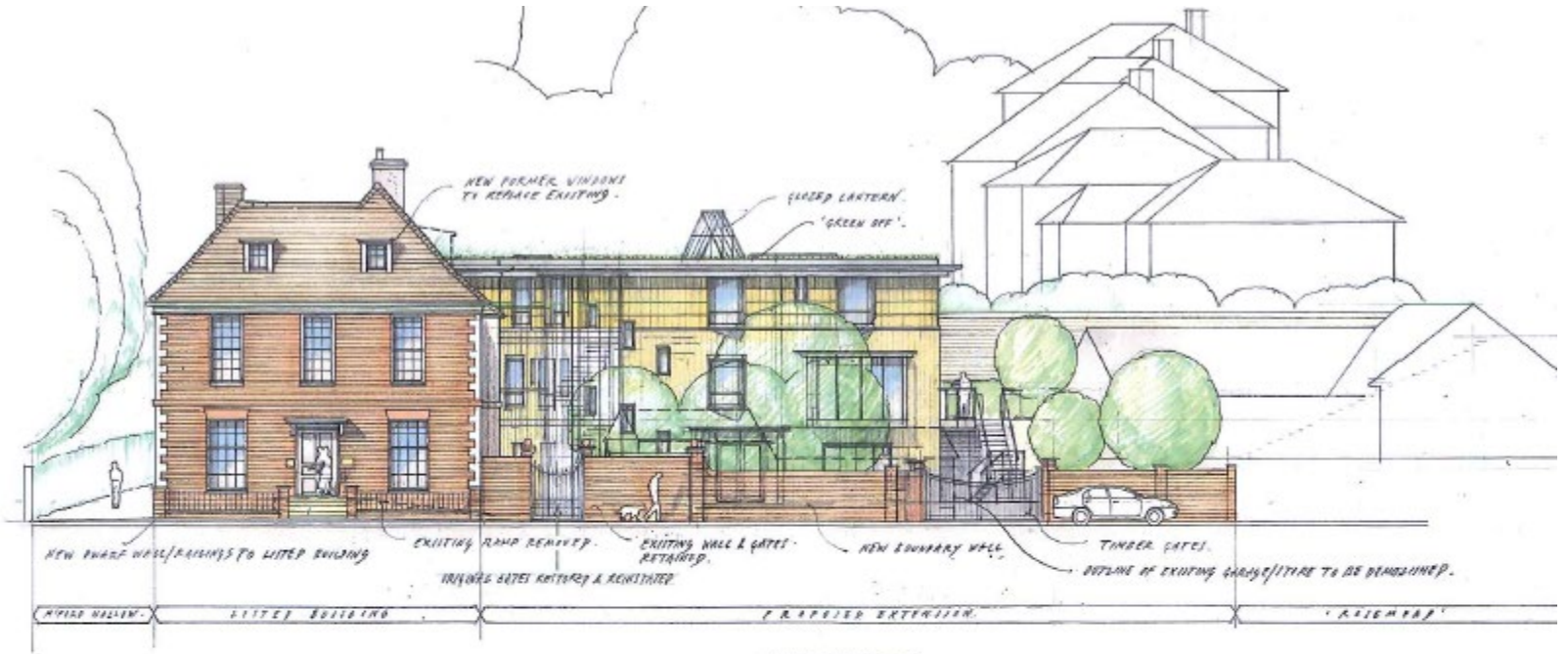
Prepared by:

Matthew Holmes BA (Hons) MA MRTPI

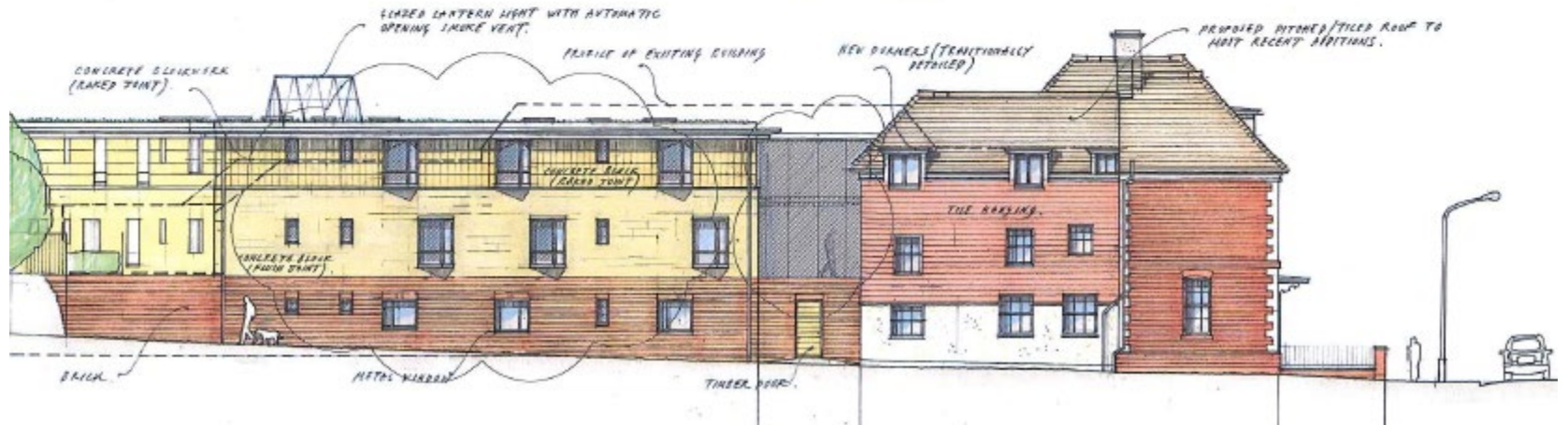
Chapman Lily Planning Limited

- By 2026, projected potential shortage is c295 bed spaces in the area.
- Narrow corridors, numerous steps, uneven levels, small bedrooms without ensembles, narrow corridors, unrestricted window openings, insufficient physiotherapy space. Restricted lift access and unable to take a stretcher.

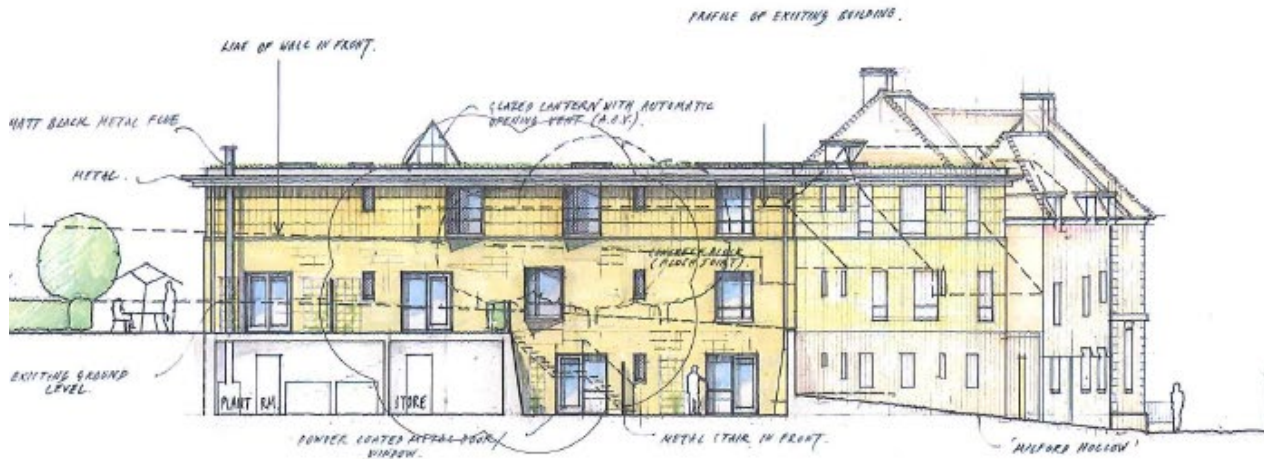
# Previously refused scheme details



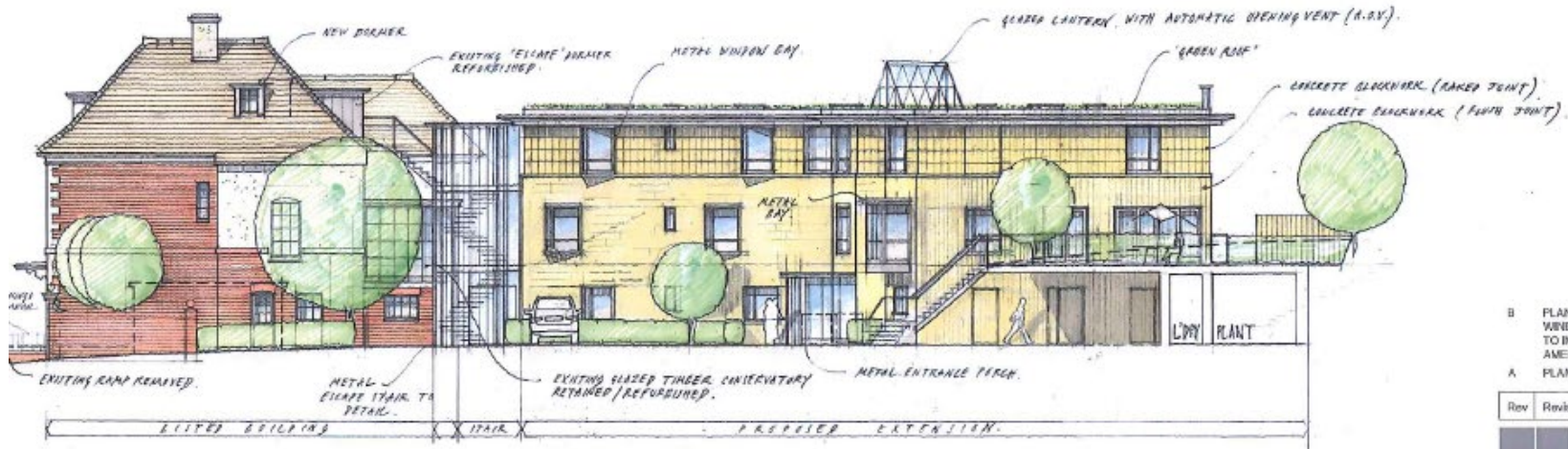
EAST ELEVATION



# Previously refused scheme details



WEST ELEVATION



NORTH ELEVATION

KEY

Obscure milky white (restricted opening 1)

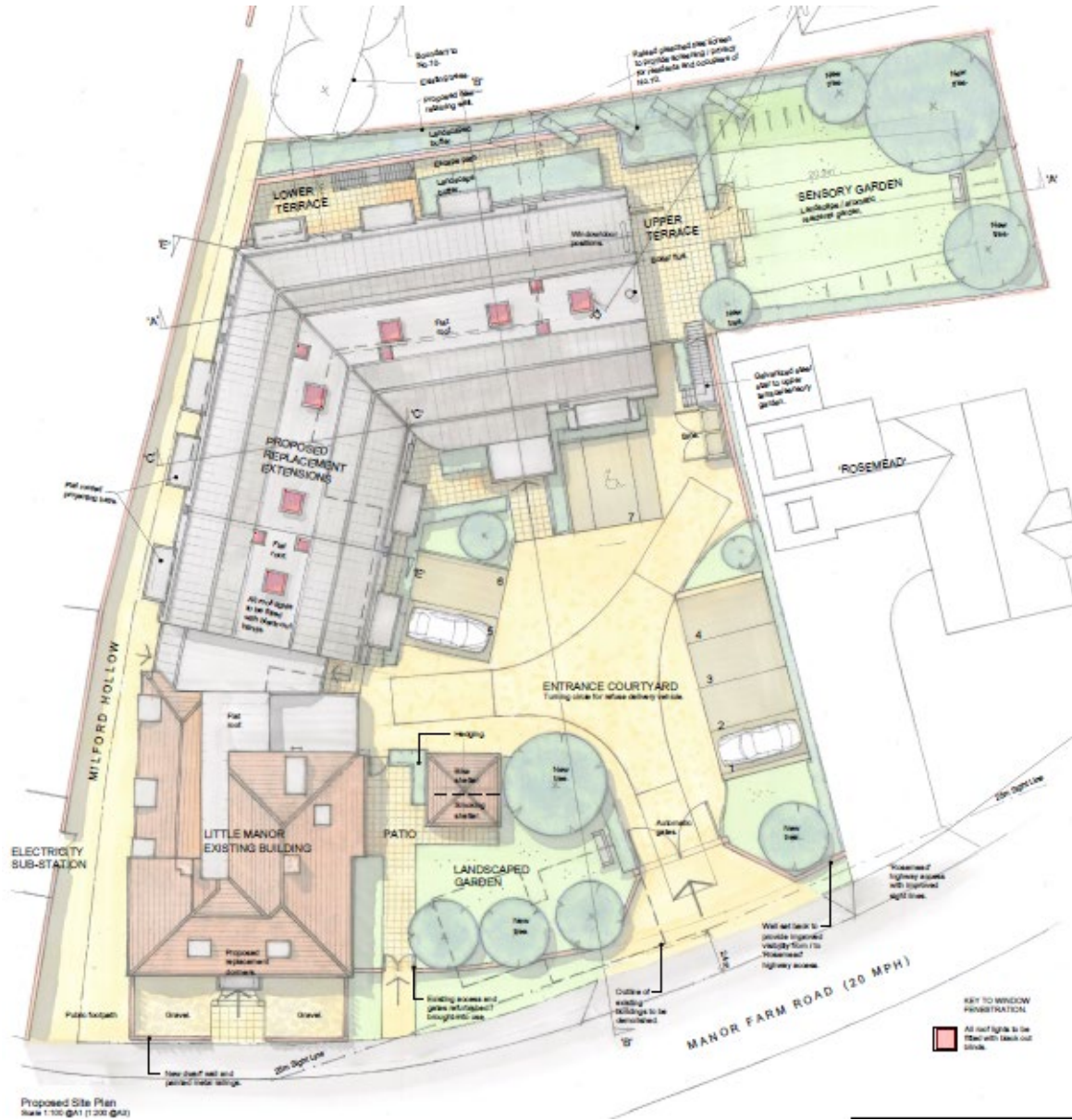
- B PLANNING AMENDMENTS - WINDOW FENESTRATION AME TO IMPROVE NEIGHBOUR AMENITY/LIGHT POLLUTION.
- A PLANNING ISSUE

Rev	Revision





# Proposed site plan (revised scheme)



# Context elevation and east elevation as proposed



# Proposed south elevation



Proposed South Elevation  
 Scale: 1:100 @A1 (1:200 @A3)

# Proposed west and north (courtyard) elevations



Proposed West Elevation

SEE DRAWING NO. 307 FOR TRUE SOUTH ELEVATION | MILFORD HOLLOW



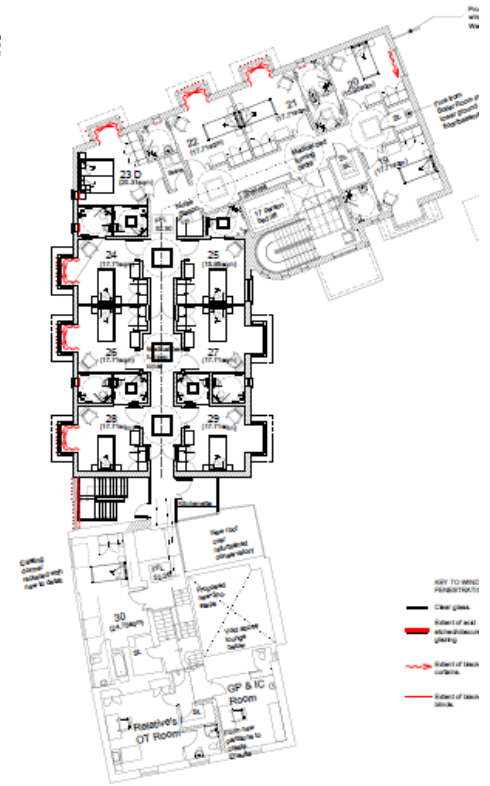
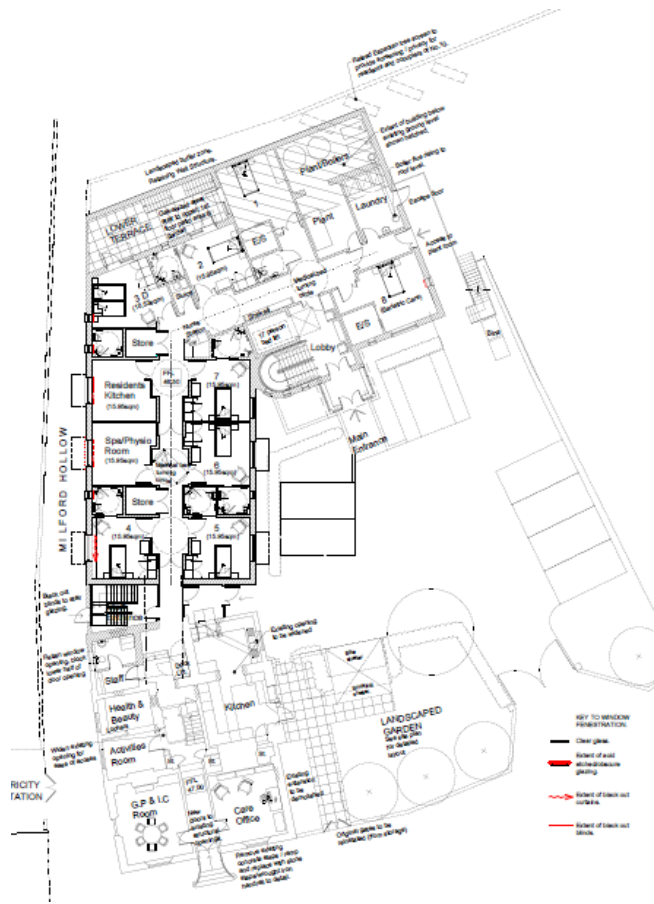
# Landscaping and garden proposals

**Legend:**

-  Proposed standard tree
-  Proposed pleached tree screen
-  Proposed ornamental hedgerow
-  Proposed ornamental shrub planting
-  Proposed sensory garden planting
-  Amenity grass seed/turf
-  Paving
-  Gravel

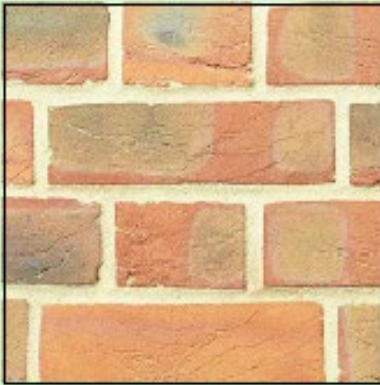


# Ground, first and second floor plans and facilities



## Materials for Extension

- Ground floor: high quality clay facing brick (red/orange) including the South Elevation fronting Milford Hollow
- Upper levels: clad using horizontal and vertical Accoya timber boarding up to the underside of mansard roof/gutter level.
- Mansard and pitched roof slopes: clad using patinated standing seam zinc cladding.
- Windows and doors will be powder coated metal.



Brickwork (Indicative)



Zinc Cladding (Indicative)

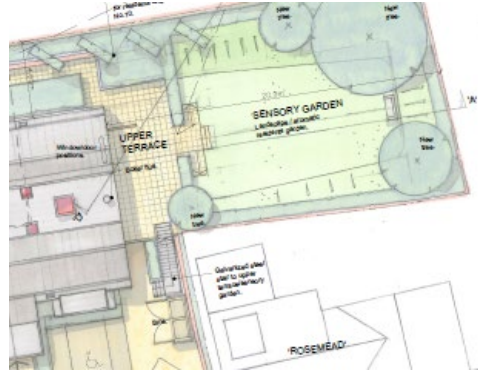
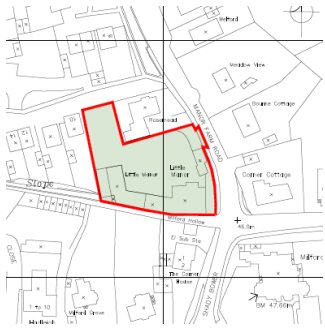


Stained horizontal/vertical boarding.



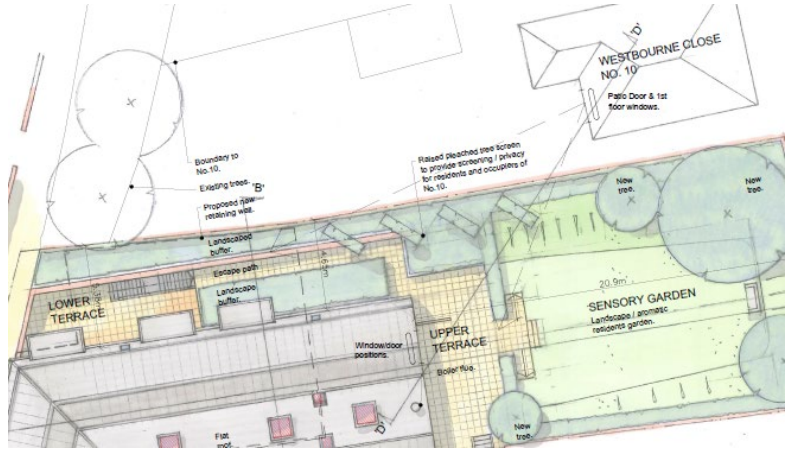
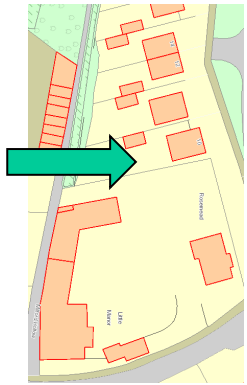
Powder Coated Metal (Indicative)

# Rosemead (north)

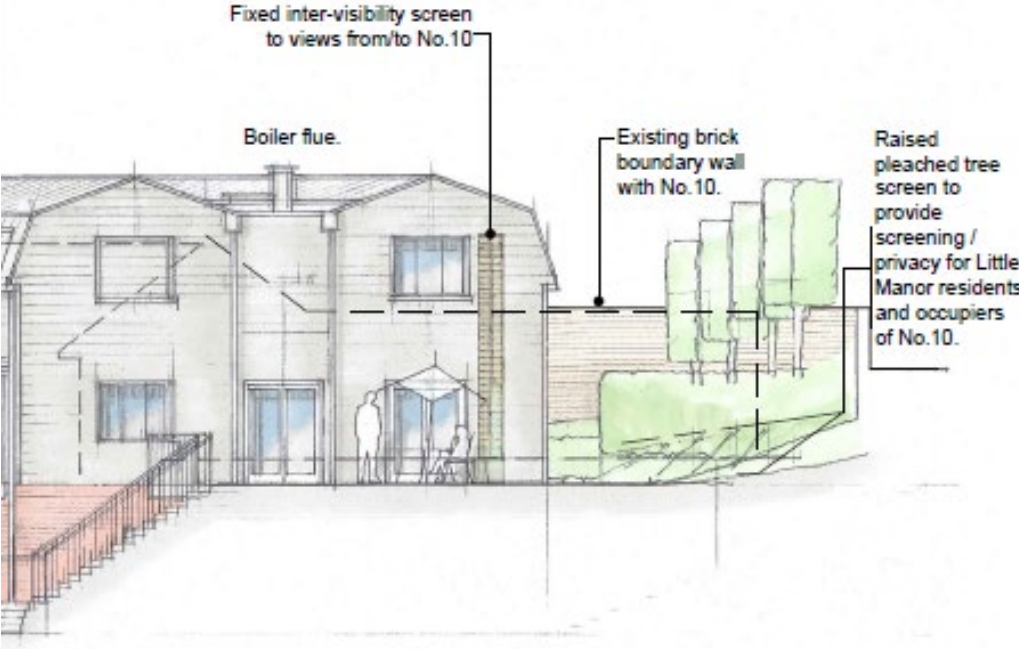




# 10 Westbourne Close (west)

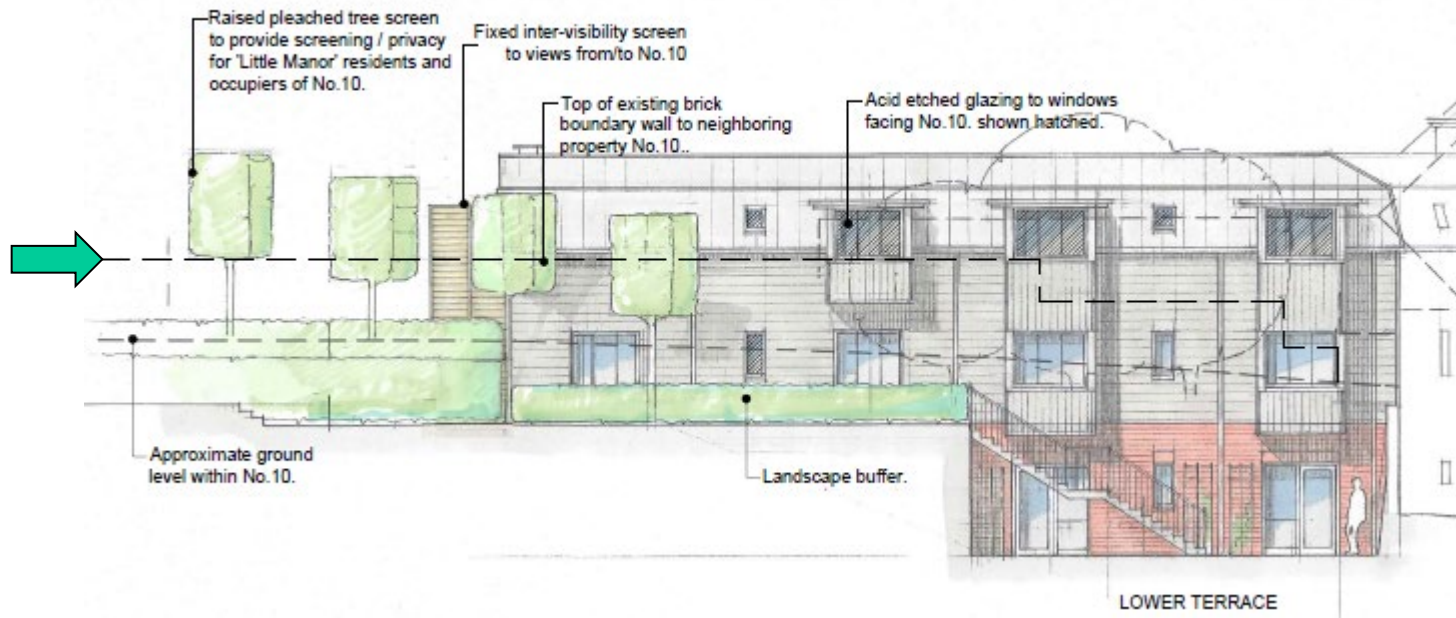


*living room French doors/patio*



*views from bedroom*

# 10 Westbourne Close



# White Lodge and Milford Grove (south)



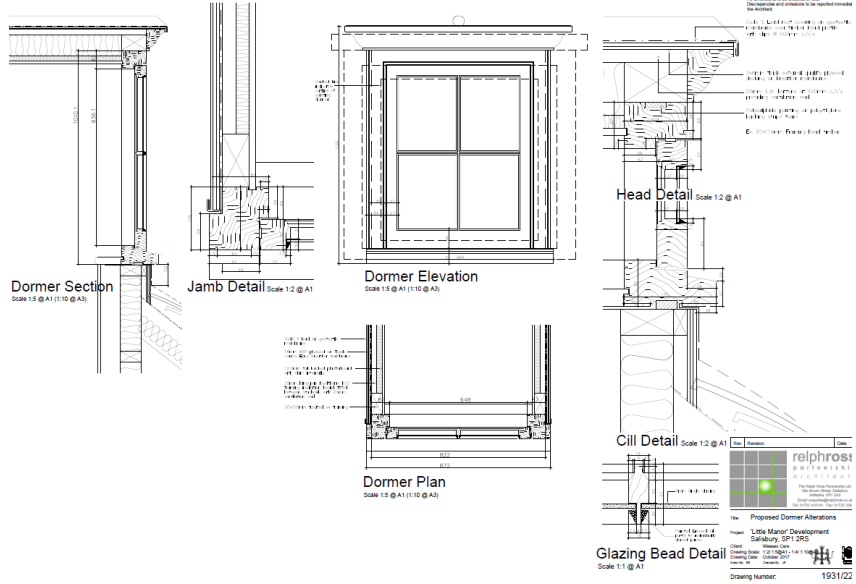
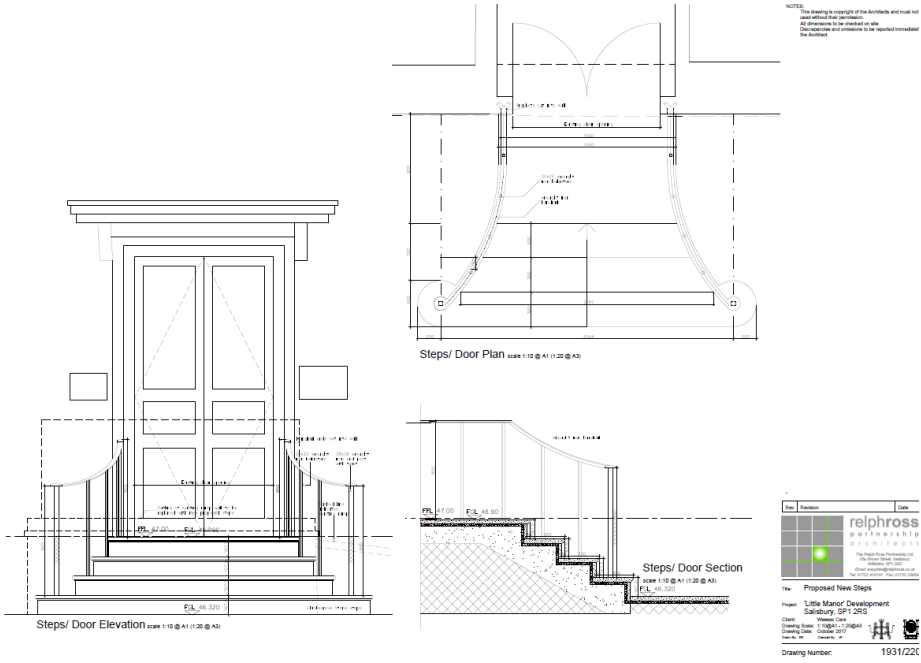
*Views looking north from White Lodge and Milford Grove gardens*



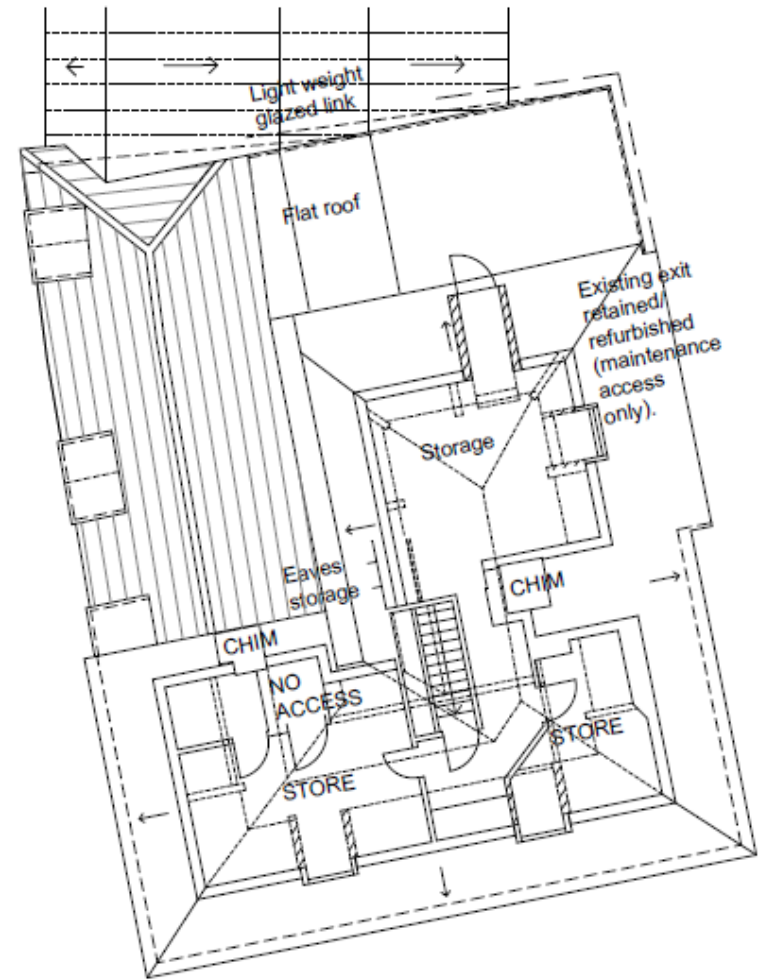
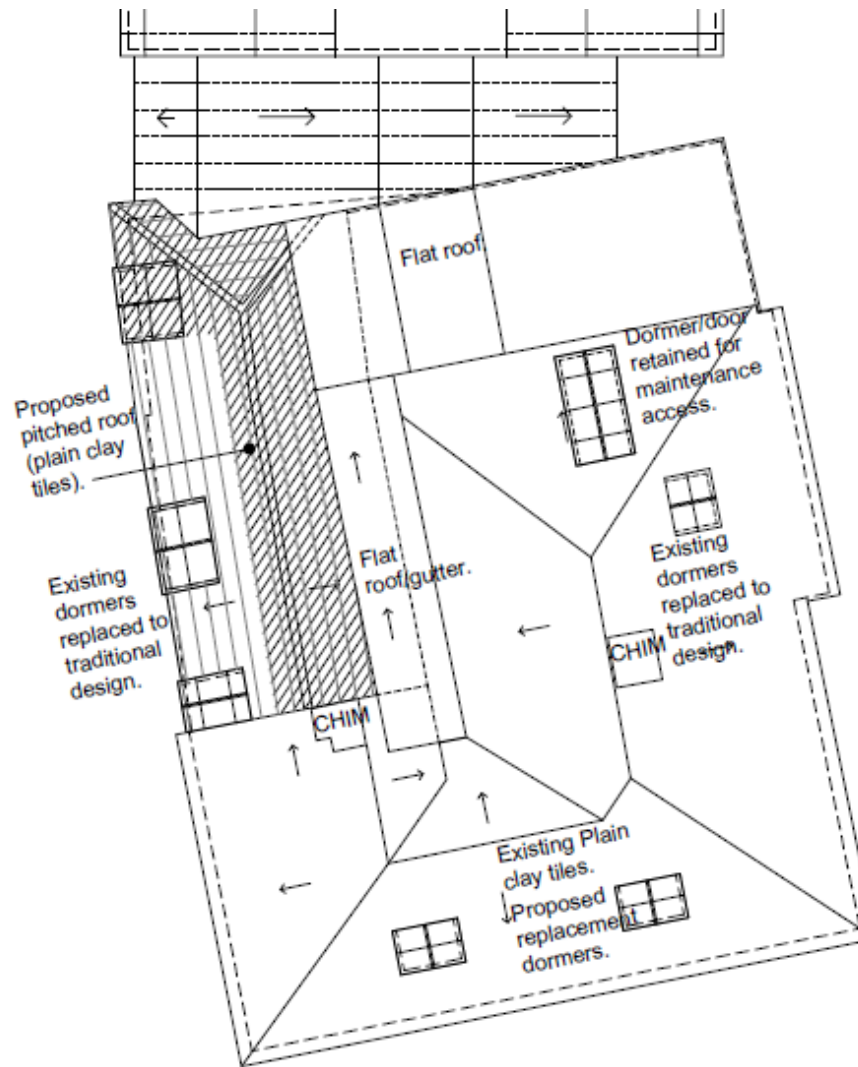
## SUMMARY OF WORKS TO LISTED BUILDING

- Refurbish leaded light and panelled timber entrance doors
- Refurbishment of sash windows and panelled reveals
- Creation of new care office meeting room, with restoration of room to former shape
- Removal of lean to store and single extension to north elevation.
- Various modern partitions removed and spaces opened up.
- Removal of poorly detailed dormers. New lead clad flat roof dormers incorporating traditional casement windows.
- Make good existing external brickwork following removal of extensions and upgrade flat roofs
- Removal of all upvc window units and replacement with timber

# Details of some listed building works



# Internal works to listed building, pitched roof and dormers



**7b) 18/04897/FUL Land Referred To As Paddock View Farm, Dean Road, West Dean, SP5 1HR** Retention and alterations to an existing agricultural building and the retention of a stable block and tack room in connection with the use of land for equine and agricultural purposes (Resubmission of 17/04844/FUL)

**Recommendation: Approve with Conditions**



Site Location Plan



Aerial Photography



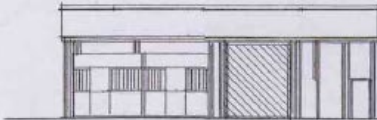
# Approved Plans for S/2008/0551/FUL

S/08/0551



FIRST FLOOR PLAN

Salisbury District  
Planning Department  
App. 10 MAY 2008  
Copp. to  
Action



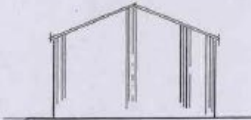
WEST ELEVATION



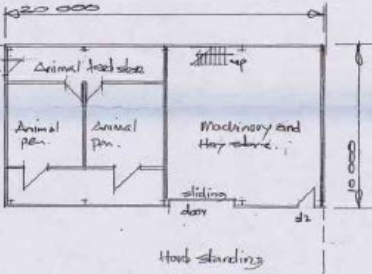
NORTH ELEVATION



EAST ELEVATION

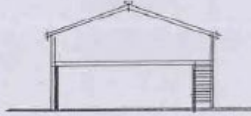


SOUTH ELEVATION



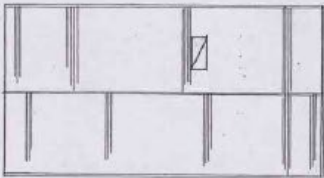
GROUND FLOOR PLAN

- Proposed Barn - elevations & section
1. steel frame
  2. Metal profile sheeting clad to roof and external walls



SECTION A-A

All dimensions to be checked on site before work commences. Any discrepancies to be referred back to the SURVEYOR.



ROOF PLAN

No	Date	Description	By
1		Alterations to overall size of barn.	
2		Amendments to roof plan and elevations re - roof light. Ground floor plan amended.	
Project - Location			
1 PADDOCK VIEW FARM LONGFIELD, DEAN ROAD, SALISBURY. SP5 1HF			
Drawing title			
PROPOSED HAY AND MACHINERY STORE AND ANIMAL PEN			
Drawing No			
BUCKINGHAM/10/1			
Date			
10 OCT			

# Decision Notice for approved planning permission S/2008/0551/FUL

The proposed agricultural barn is considered acceptable by reason of its size, design and position, with no significant detrimental impact to the special landscape area or neighbour amenities.

And subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission. (A07B)

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990. AS amended by section 51 (1) of the Planning and Compulsory Purchase Act 2004 (0004 AMENDED)

2. No development shall take place until details or samples of the materials to be used in the construction of the external surfaces of the extension hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details. (D03A)

Reason: To secure a harmonious form of development.

3. There shall be no windows or rooflights, other than those hereby permitted, in the roof of the barn hereby permitted.

Reason: In the interests of visual amenity.

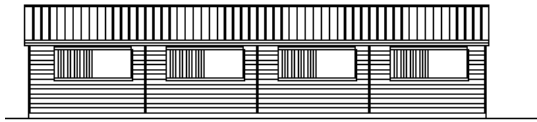
4. Development shall not begin until drainage works (to include surface and foul water) have been carried out in accordance with details to be submitted to and approved in writing by the Local Planning Authority. (L03A)

Reason: To protect the water environment.

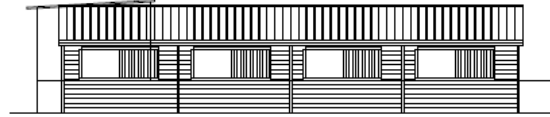
## Existing Rear (South) Elevation of the Barn



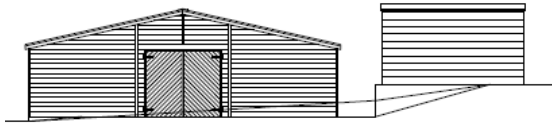
# Existing elevations of the Barn, Tack Room and Stables



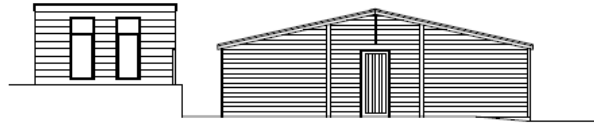
EXISTING NORTH ELEVATION  
(STABLES)



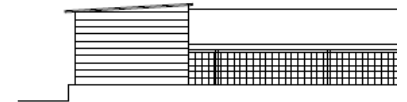
EXISTING SOUTH ELEVATION  
(STABLES)



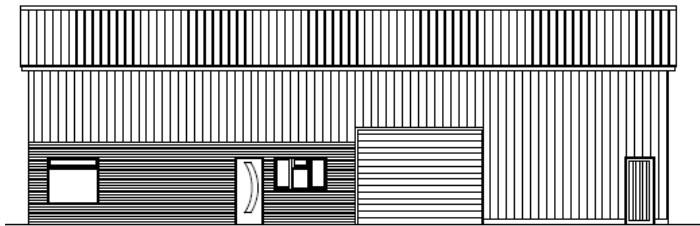
EXISTING WEST ELEVATION  
(STABLES & TACK ROOM)



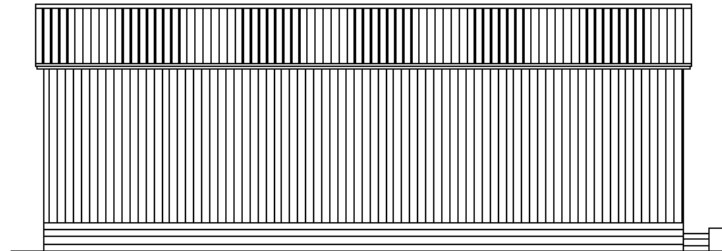
EXISTING EAST ELEVATION  
(STABLES & TACK ROOM)



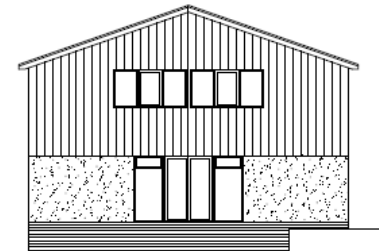
EXISTING SOUTH ELEVATION  
(TACK ROOM)



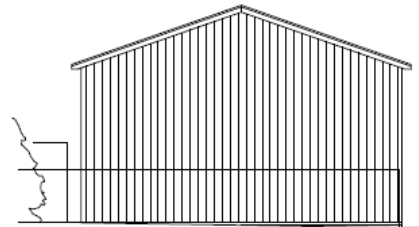
EXISTING WEST ELEVATION  
(BARN)



EXISTING EAST ELEVATION  
(BARN)



EXISTING SOUTH ELEVATION  
(BARN)



EXISTING NORTH ELEVATION  
(BARN)

Revisions :

Drawing Title : PLANNING APPLICATION

Drawing No. :

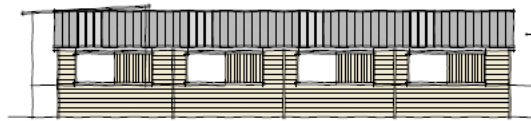
**918.3.**

# Proposed Elevations of the Barn and Tack Room (Stables unaltered)

Notes: 1. This drawing is for the use of the planning application only. It is not to be used for construction. 2. 1:10 scale and the proposed supporting planning statement.

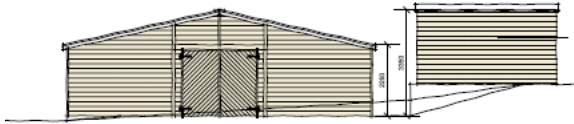


EXISTING STABLES  
NORTH ELEVATION



EXISTING STABLES  
SOUTH ELEVATION

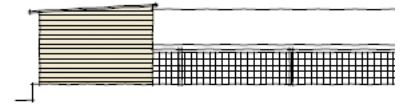
elevations of existing stables to remain unaltered as constructed March 2015



PROPOSED WEST ELEVATION

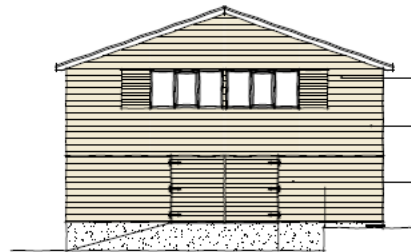


PROPOSED EAST ELEVATION



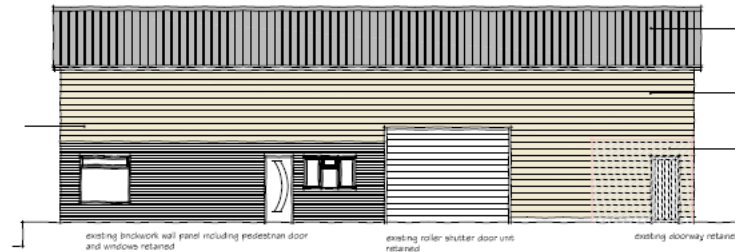
PROPOSED SOUTH ELEVATION

elevations of existing Tack Room to receive new horizontal lap timber boarding to match retained barn



PROPOSED NORTH ELEVATION

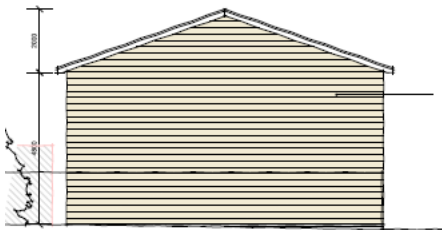
existing oak face upvc windows retained in position and fitted with purpose made timber slatted shutters either side  
existing metal profiled sheeting removed and replaced with dark stained horizontal lap timber weatherboarding  
existing fully glazed upvc french doors and glazed side lights to be removed and replaced with timber boarded hinged double doors



PROPOSED WEST ELEVATION

sections of original roof sheeting removed and replaced with dark grey profiled roof sheeting to match retained sections  
existing metal profiled sheeting removed and replaced with dark stained horizontal lap timber weatherboarding  
existing metal unit to be removed from side shown hatched

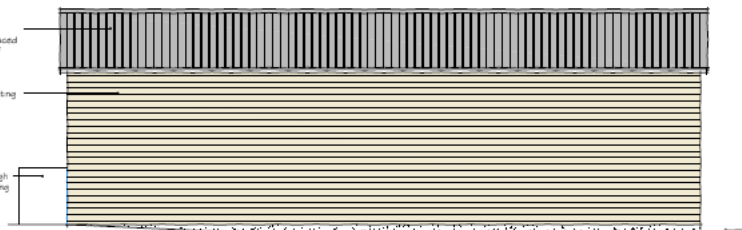
existing brickwork wall panel including pedestrian door and windows retained  
existing roller shutter door unit retained  
existing doorway retained



PROPOSED SOUTH ELEVATION

sections of original roof sheeting removed and replaced with dark grey profiled roof sheeting to match retained sections  
existing metal profiled sheeting removed and replaced with dark stained horizontal lap timber weatherboarding

Use of existing 1.800mm high close boarded timber fencing retained in position



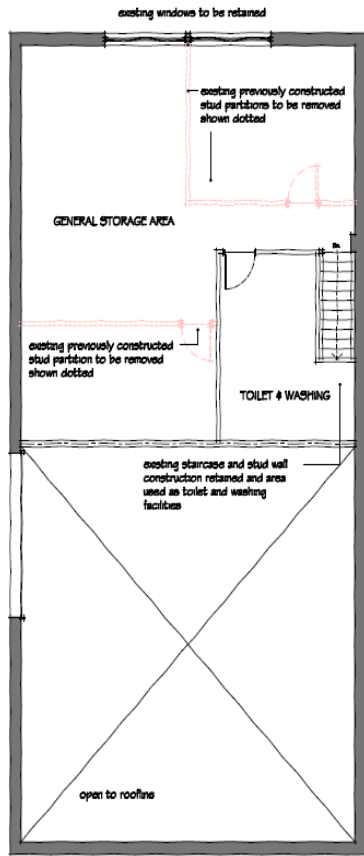
PROPOSED EAST ELEVATION

Revisions : A: August 2018 Elevation Titles amend

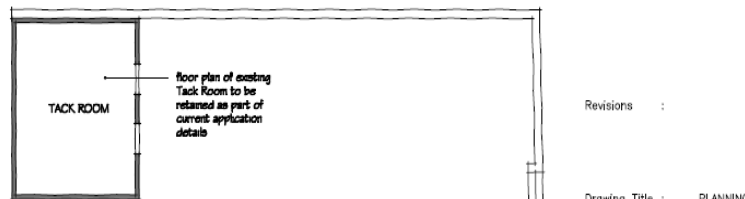
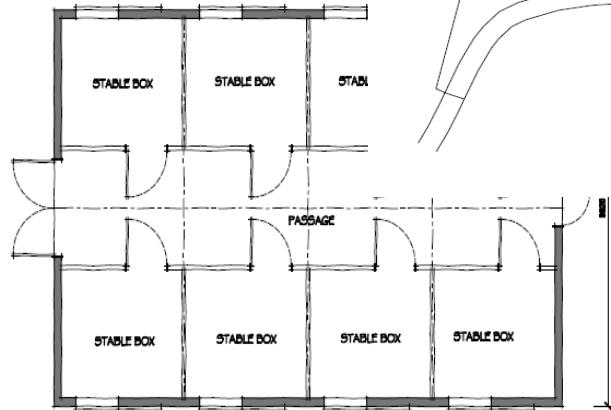
Drawing Title : PLANNING APPLICATION

Drawing No. : **918.2.a.**

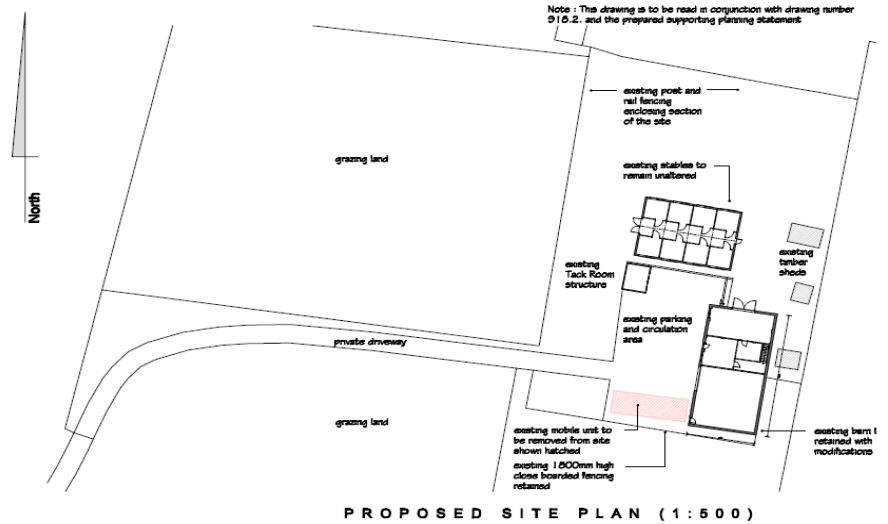
# Site Location Plan and Proposed Floor Plan for Barn, Tack Room and Stables



PROPOSED FIRST FLOOR PLAN OF EXISTING BARN



EXISTING STABLES & TACK ROOM FLOOR PLAN



Drawing No. : 91

## Site entrance via the public highway



## Rear Elevation (South) of Barn and Stable Block





Existing side elevation (West) of Barn



## Existing Side (East) and Front Elevations (North)



## Elevations of the Existing Tack Room



# Existing Mobile Home to be removed in agreement with Enforcement



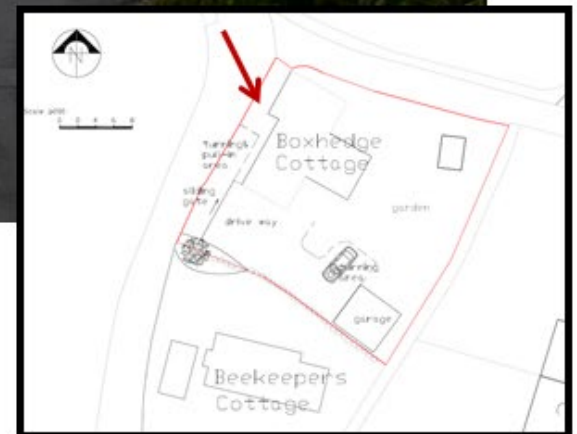
# Existing Stable Block





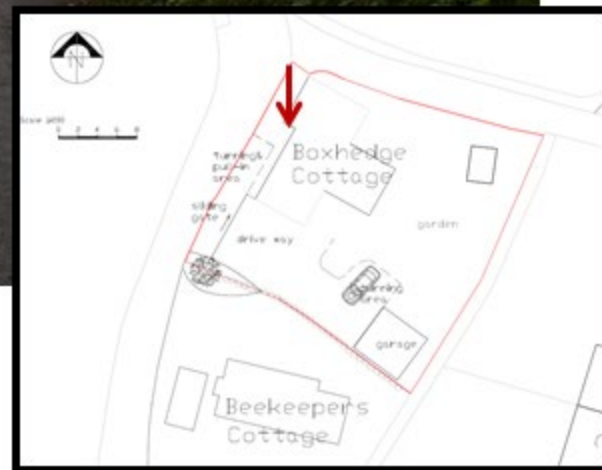


View of Boxhedge Cottage looking south east

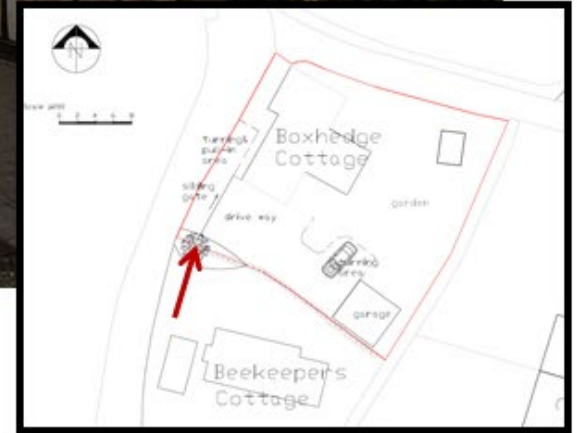




View looking south showing gate







View of Boxhedge Cottage looking north east



The gate in situe





Gate in open position



# Southern Area Planning Committee

15<sup>th</sup> November 2018

