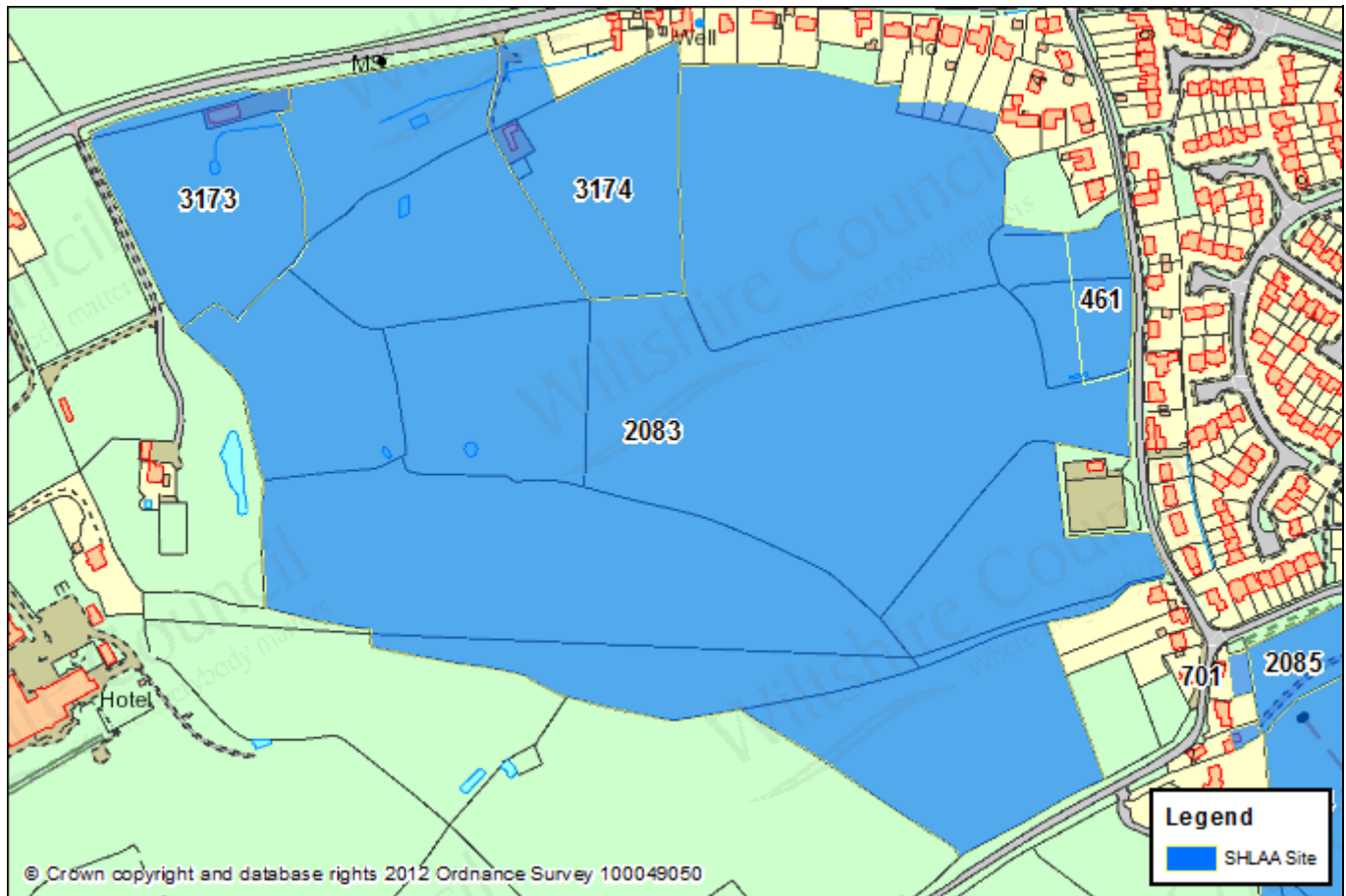


Site 2083-Land at Cricklade



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Cricklade		
Settlement	Cricklade		
Gross site area	19.40ha	Previous use	Agricultural
Suitable site area ¹	19.36 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	9.68ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	290	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

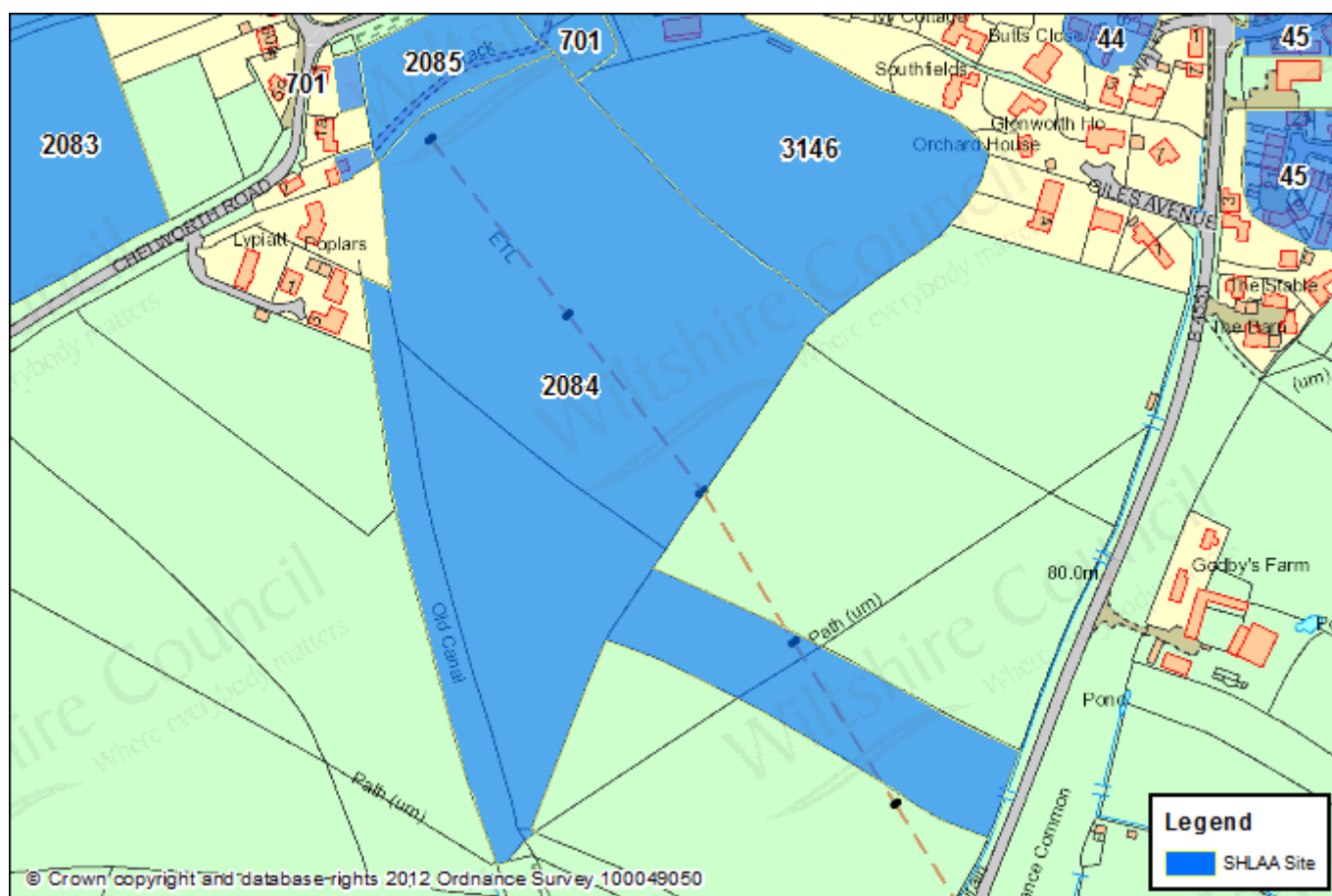
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2084-Land at Cricklade No 2



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Cricklade No 2		
Settlement	Cricklade		
Gross site area	5.47ha	Previous use	Agricultural
Suitable site area ¹	5.41 ha		
Reason for smaller suitable area	Part of the site has recently been developed, Part of the site is within a flood risk zone,		
Developable Site Area ²	4.05ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	122	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

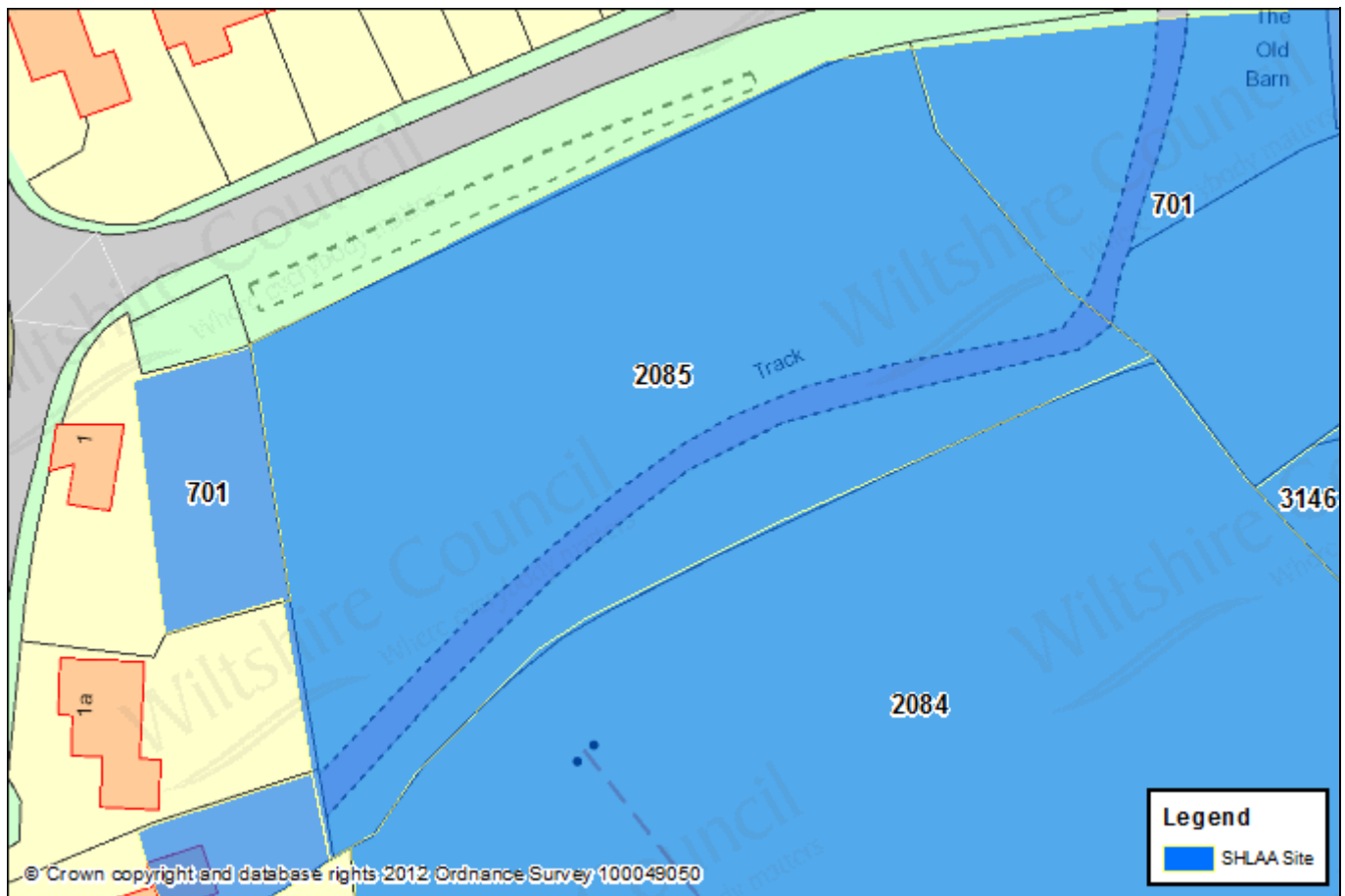
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2085-Land at The Forty No. 2



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at The Forty No. 2		
Settlement	Cricklade		
Gross site area	0.37ha	Previous use	Vacant
Suitable site area ¹	0.37 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.33ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	10	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

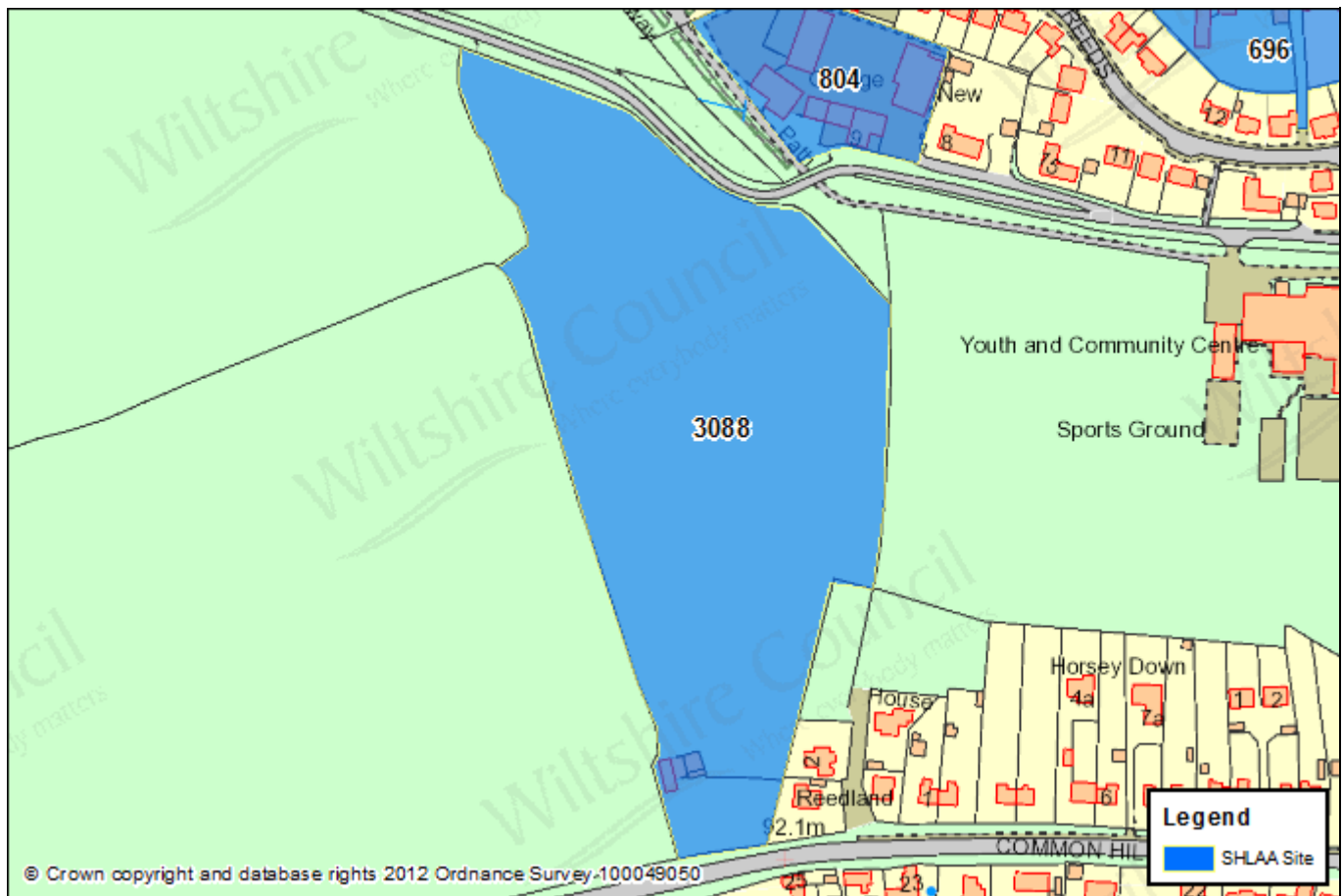
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3088-Land at Horsey Down, Common Hill



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Horsey Down, Common Hill		
Settlement	Cricklade		
Gross site area	2.92ha	Previous use	Agricultural
Suitable site area ¹	2.92 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	2.19ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	66	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

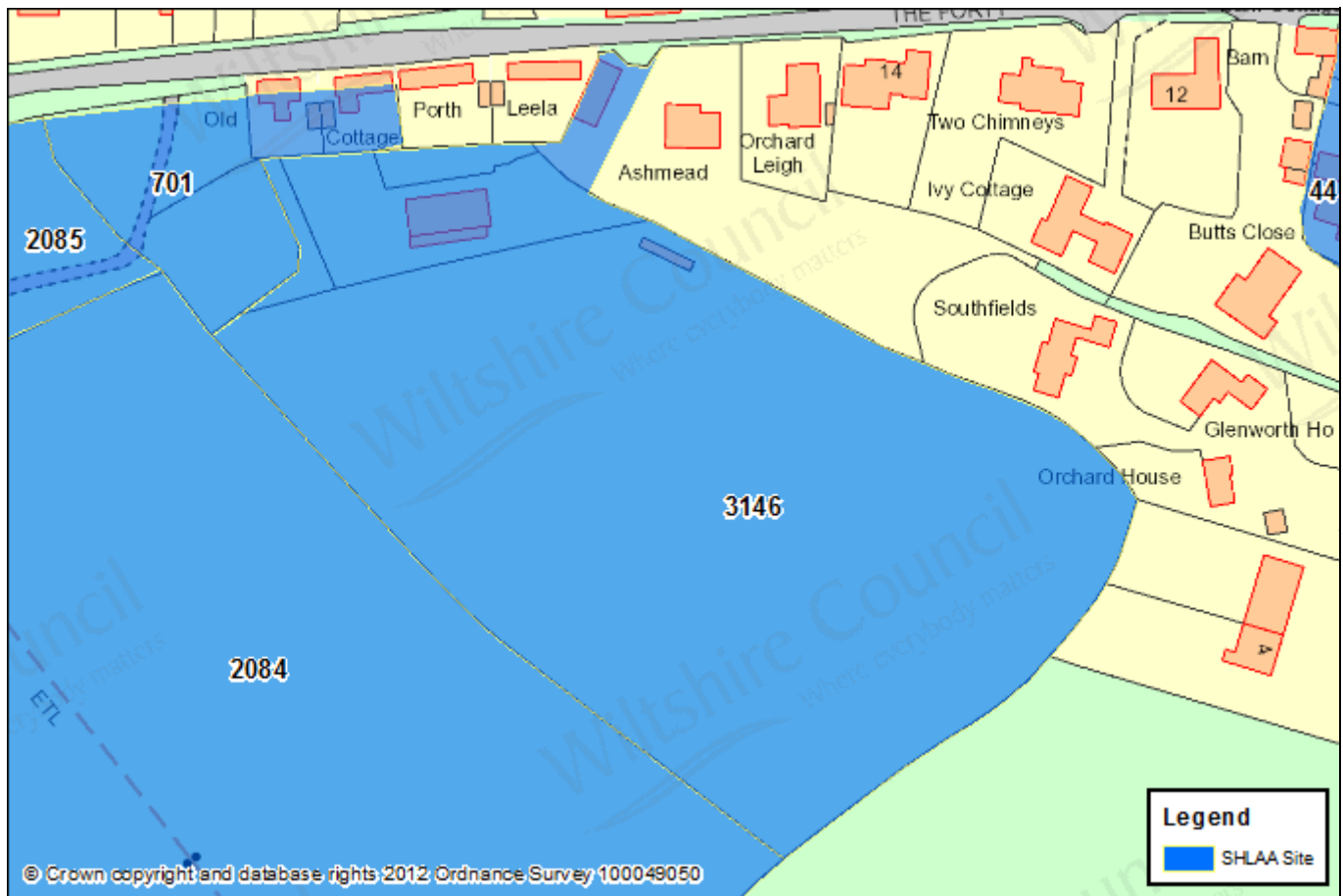
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3146-Land to the rear of Ashmead House



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land to the rear of Ashmead House		
Settlement	Cricklade		
Gross site area	1.68ha	Previous use	Agricultural
Suitable site area ¹	1.68 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	1.34ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	30	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

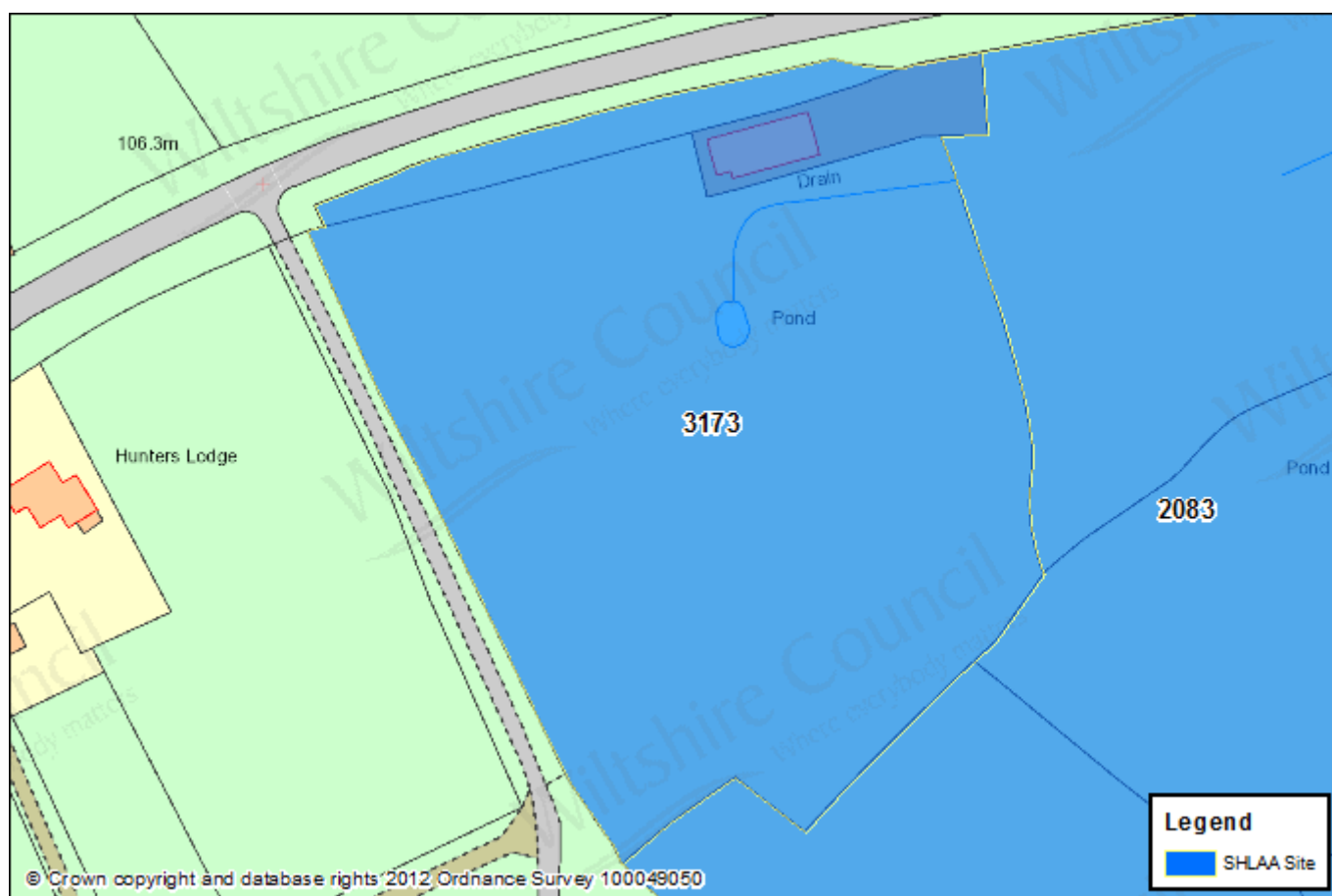
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3173-Land at Cricklade2



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Cricklade2		
Settlement	Cricklade		
Gross site area	1.40ha	Previous use	Vacant
Suitable site area ¹	1.40 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	1.12ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or Unknown Ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	34	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

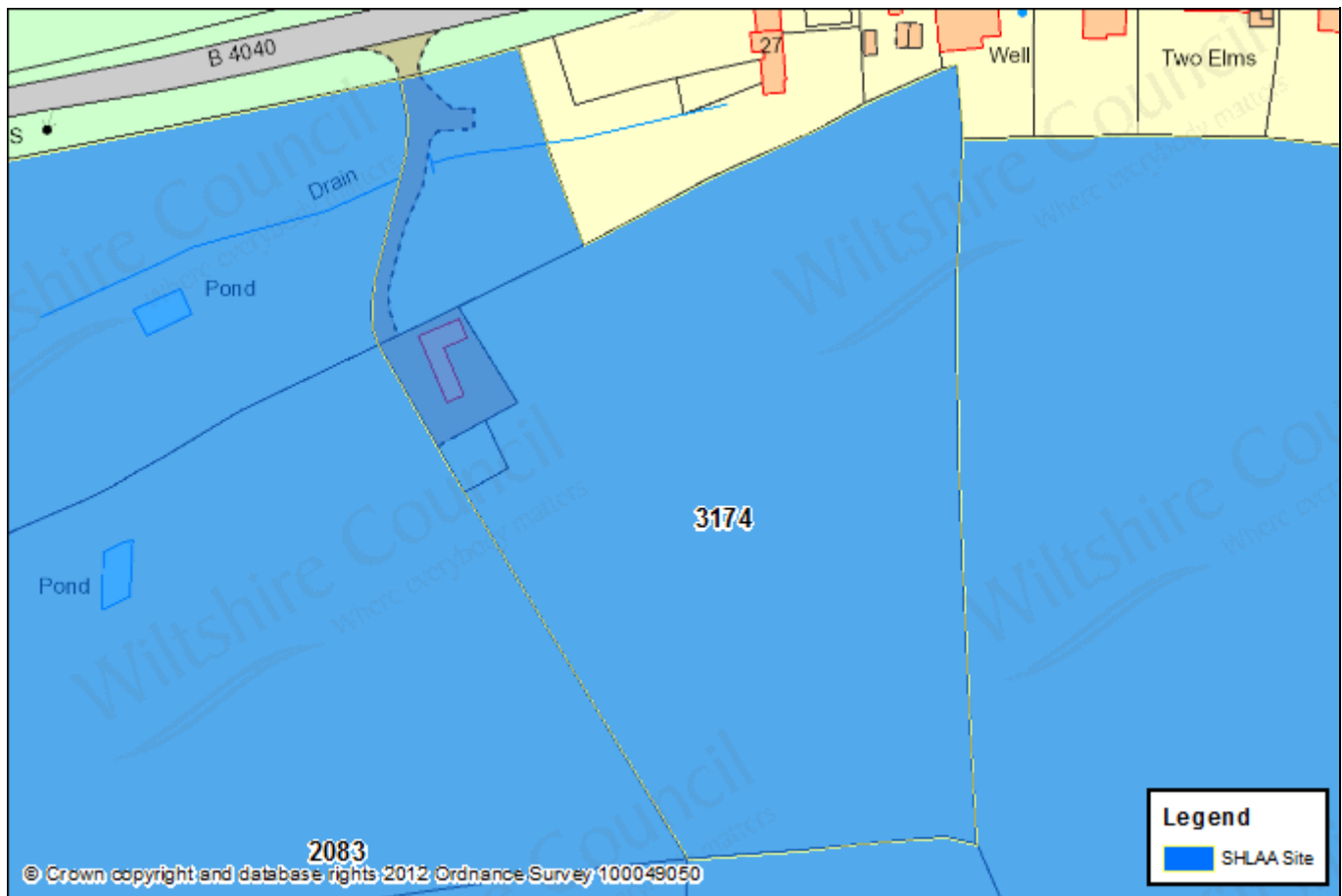
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3174-Land at Cricklade3



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Cricklade3		
Settlement	Cricklade		
Gross site area	1.44ha	Previous use	Vacant
Suitable site area ¹	1.44 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	1.15ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or Unknown Ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	35	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

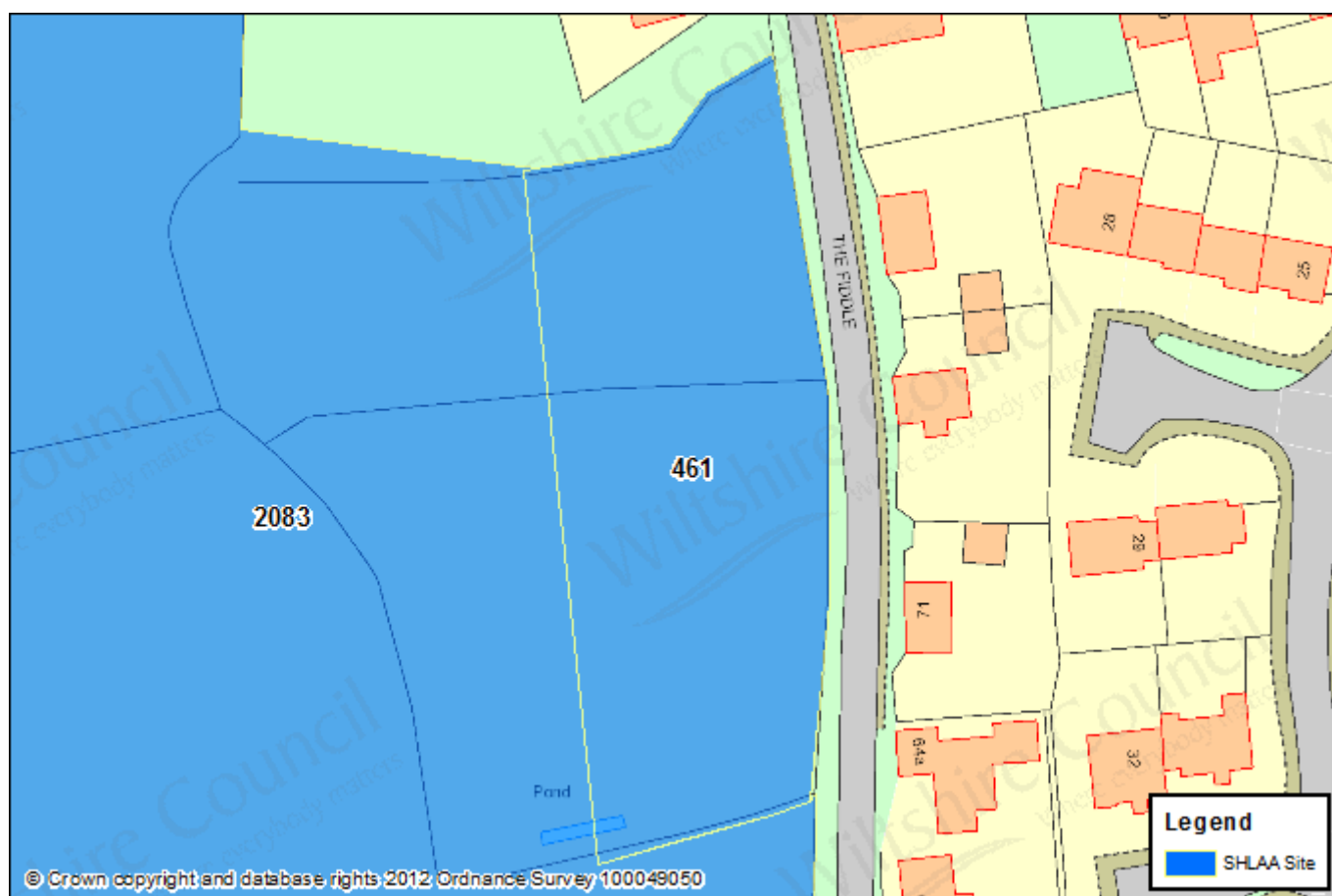
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 461-The Fiddle



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	The Fiddle		
Settlement	Cricklade		
Gross site area	0.35ha	Previous use	Vacant
Suitable site area ¹	0.35 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.31ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	13	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

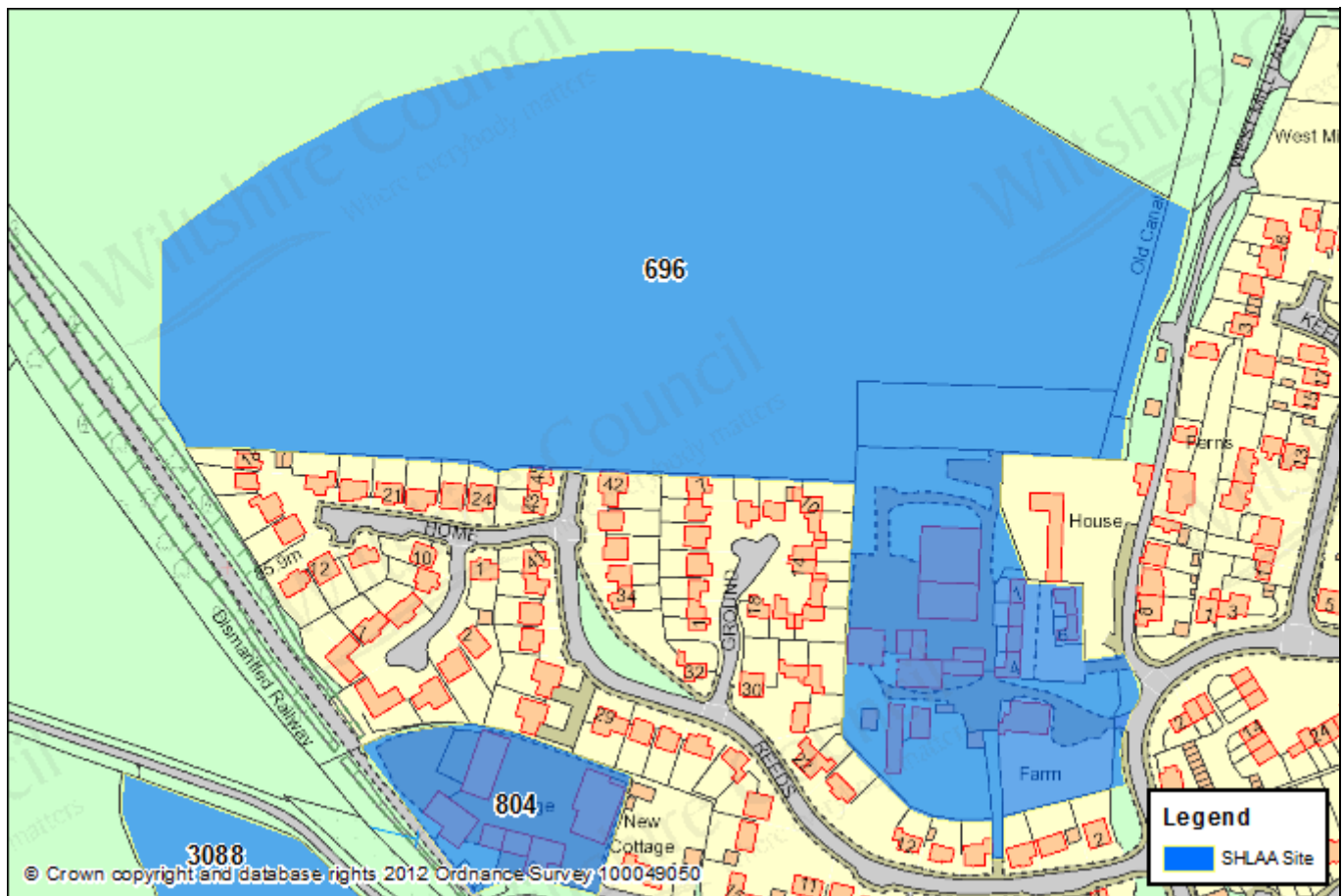
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 696-Land at Stones Farm, West Mill Lane



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Stones Farm, West Mill Lane		
Settlement	Cricklade		
Gross site area	6.27ha	Previous use	Agricultural
Suitable site area ¹	6.21 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	4.66ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	150	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

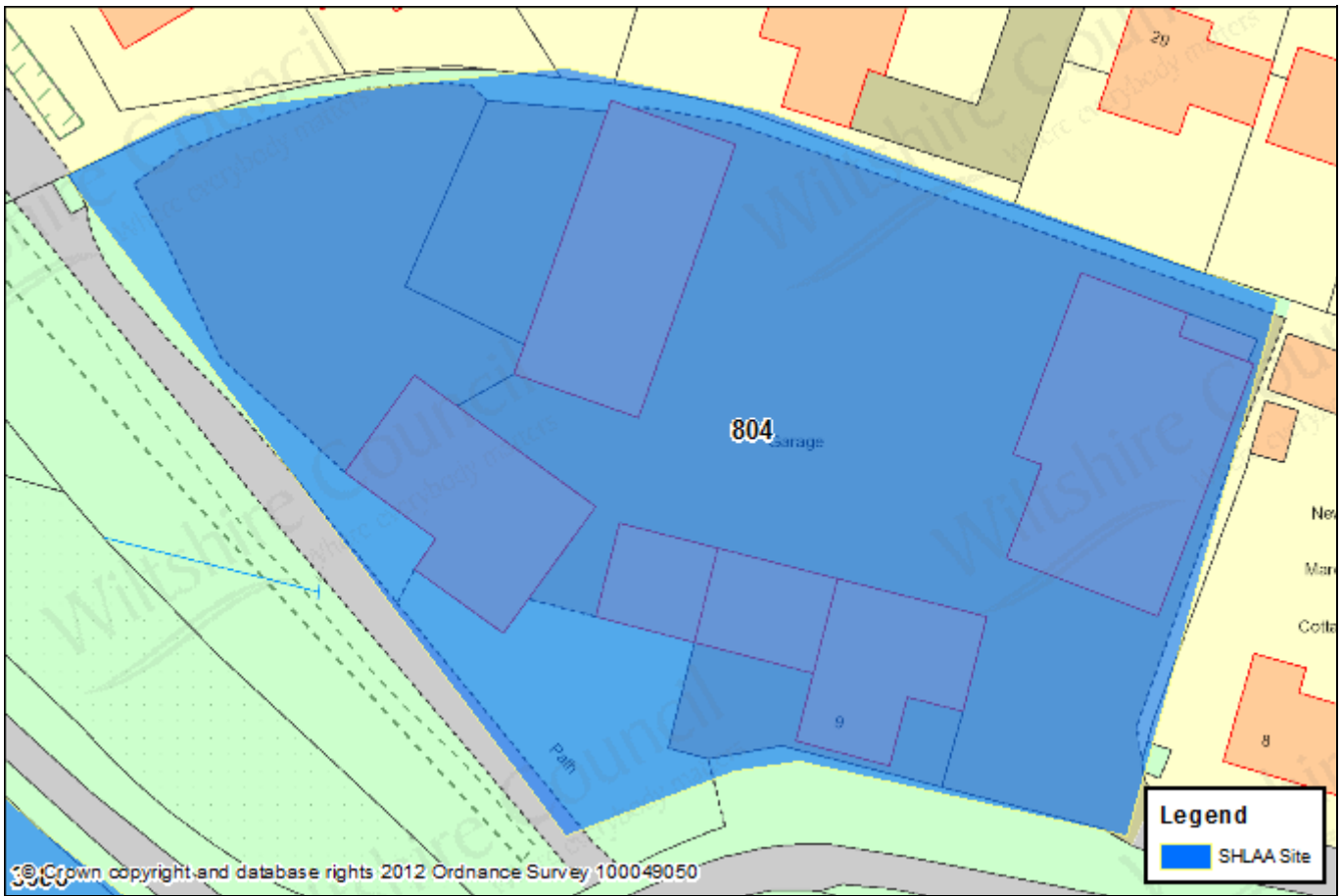
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 804-Land at Stones Lane



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Stones Lane		
Settlement	Cricklade		
Gross site area	0.44ha	Previous use	Industrial
Suitable site area ¹	0.44 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.35ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use	Yes		
Availability	Not available at present as subject to continuing use or leasehold		
Capacity ⁴	18	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

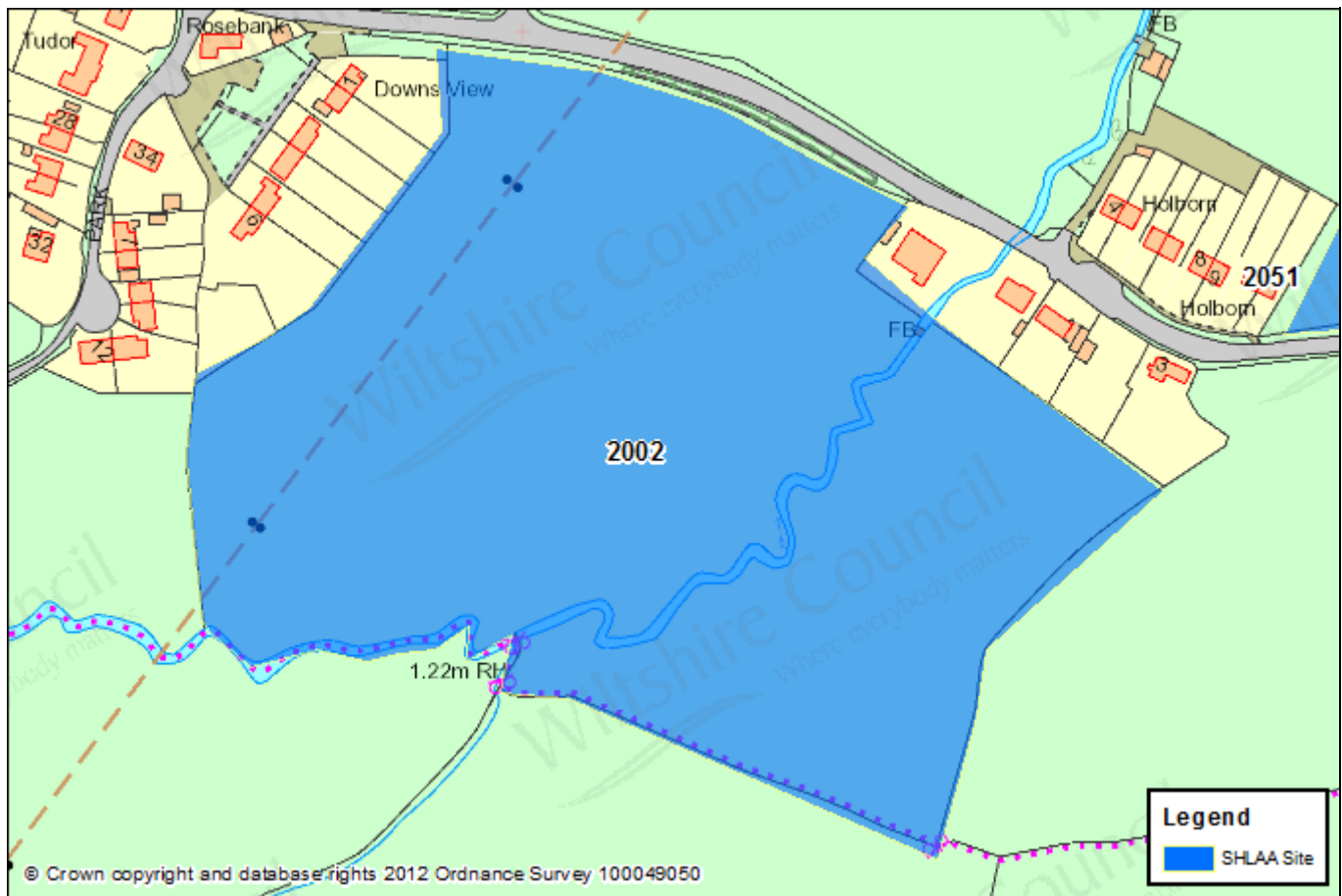
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2002-Land at Downs View



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Downs View		
Settlement	Lydiard Millicent		
Gross site area	4.67ha	Previous use	Agricultural
Suitable site area ¹	4.23 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere, Part of the site is within a flood risk zone,		
Developable Site Area ²	3.18ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone	Within or adjacent Historic Park or Garden	
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	95	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

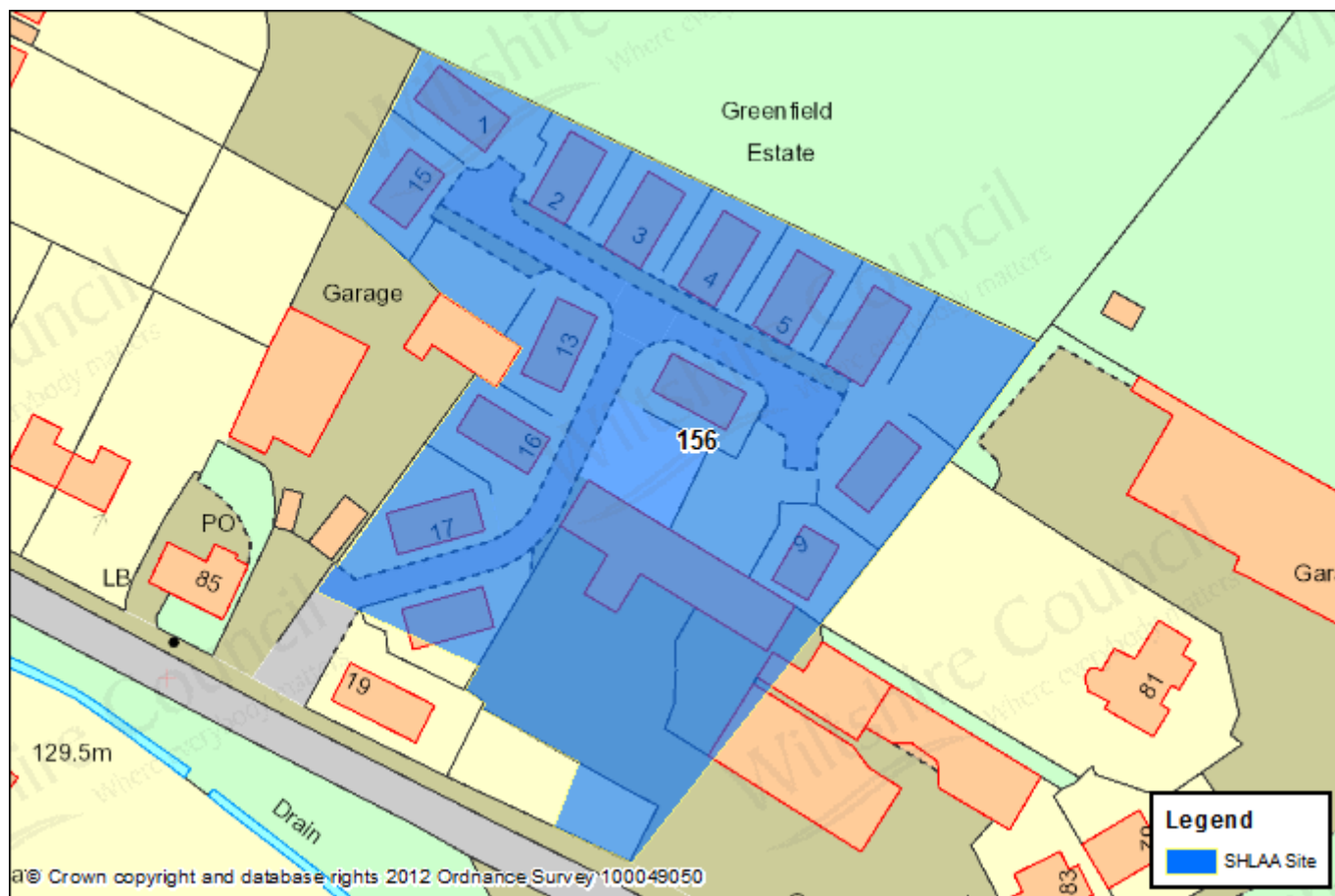
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 156-Willmotts Caravan Park



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Willmotts Caravan Park		
Settlement	Lyneham		
Gross site area	0.63ha	Previous use	Industrial
Suitable site area ¹	0.63 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	0.50ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use	Yes		
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	15	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

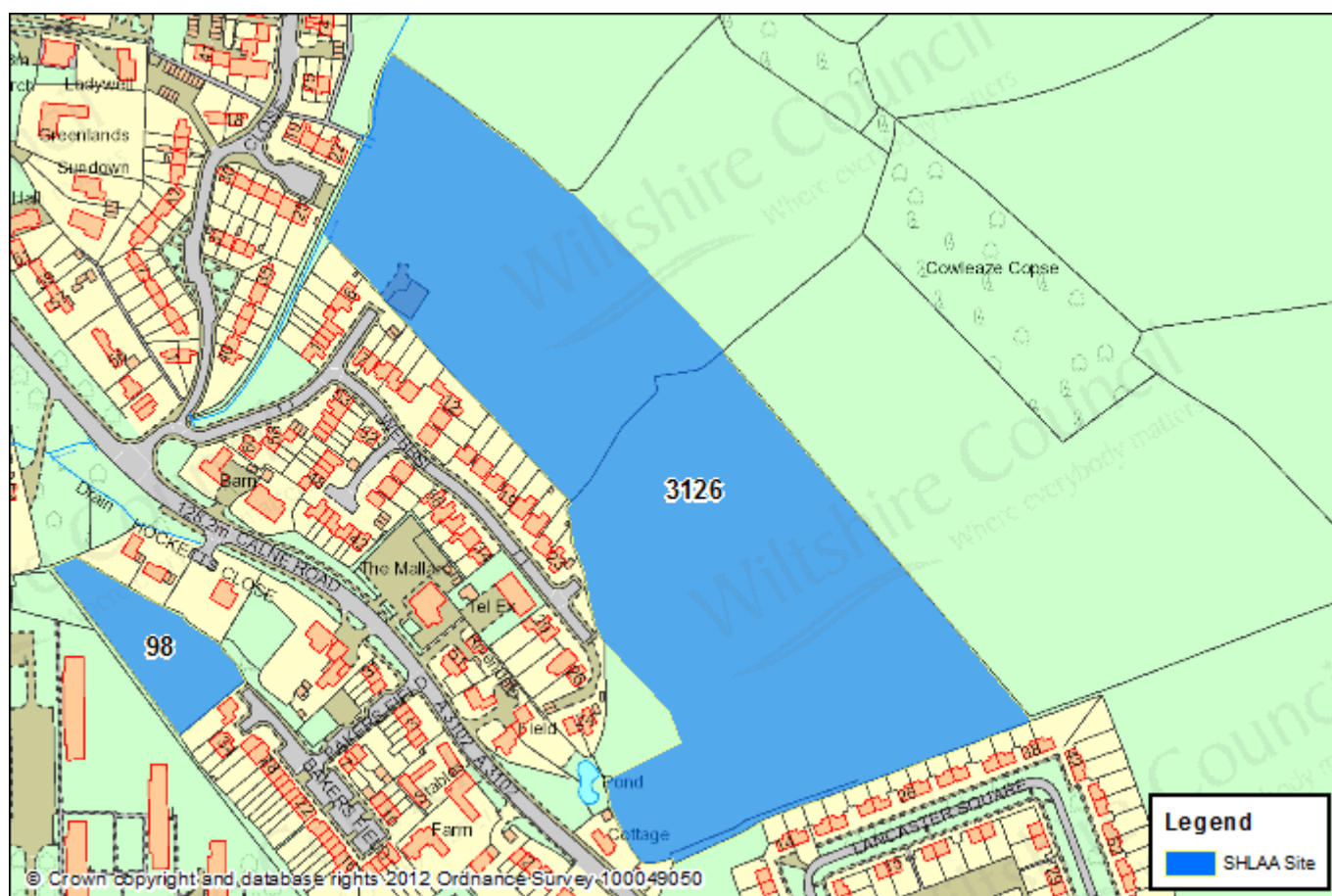
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3126-Pound Farm, Lyneham



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Pound Farm, Lyneham		
Settlement	Lyneham		
Gross site area	5.43ha	Previous use	Agricultural
Suitable site area ¹	5.43 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	4.07ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	122	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

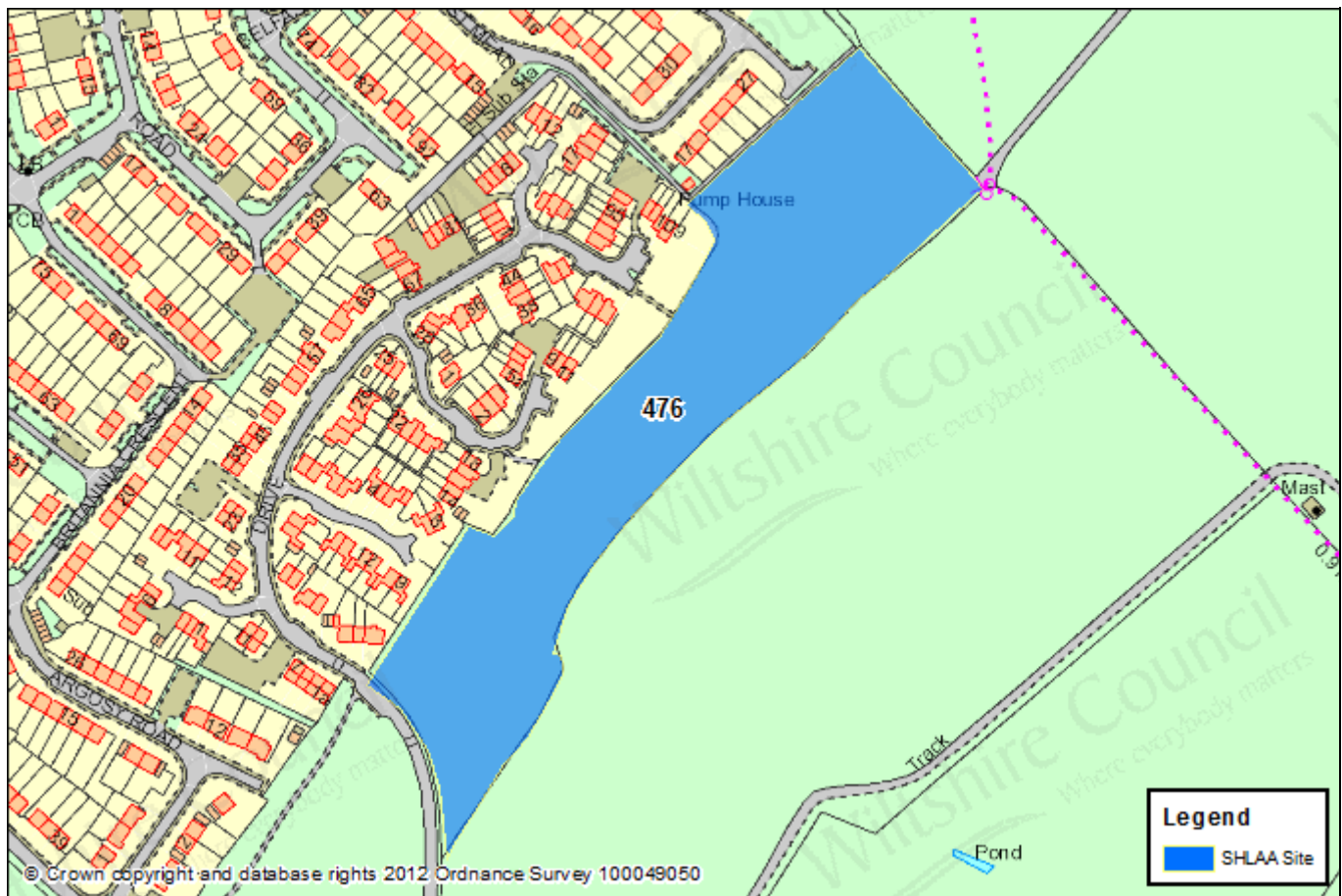
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 476-Land off Victoria Drive



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land off Victoria Drive		
Settlement	Lyneham		
Gross site area	2.36ha	Previous use	Agricultural
Suitable site area ¹	2.36 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	1.77ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	100	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

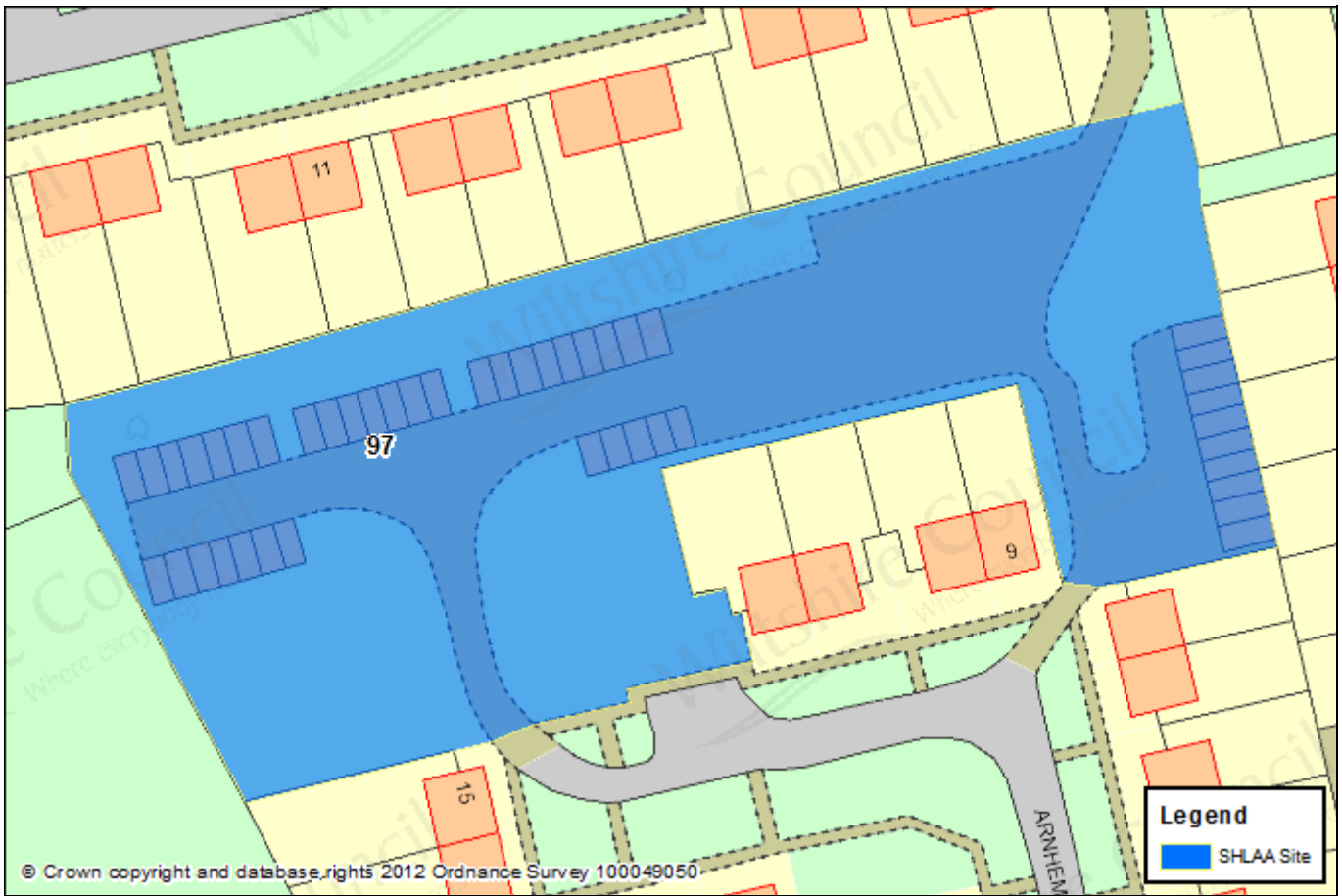
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 97-Garages rear of



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Garages rear of		
Settlement	Lyneham		
Gross site area	0.49ha	Previous use	Industrial
Suitable site area ¹	0.49 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.39ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use	Leasehold		
Availability	Not available at present as subject to continuing use or leasehold		
Capacity ⁴	12	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

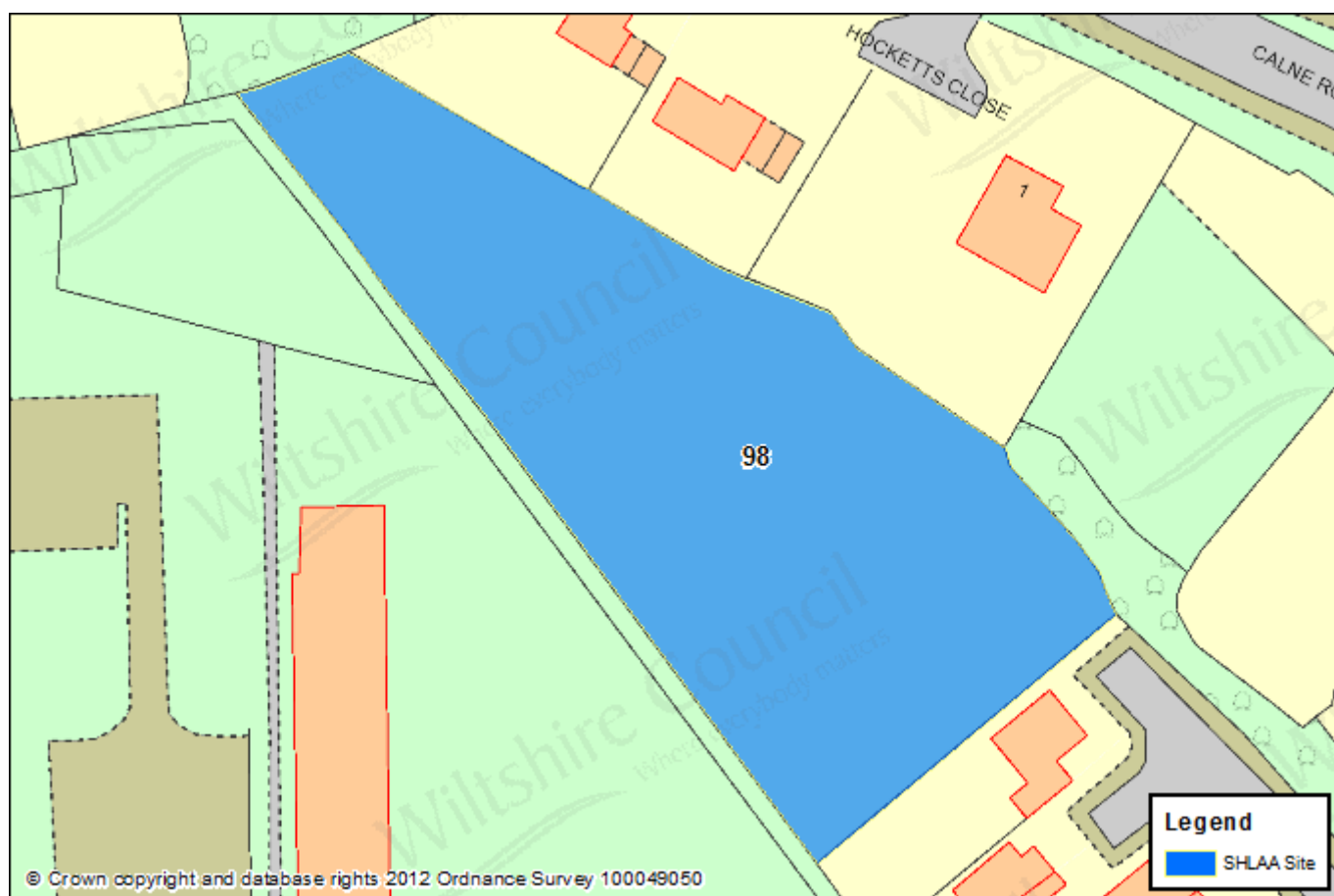
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 98-Land rear of Hocketts Close



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land rear of Hocketts Close		
Settlement	Lyneham		
Gross site area	0.34ha	Previous use	Vacant
Suitable site area ¹	0.34 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.31ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	9	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

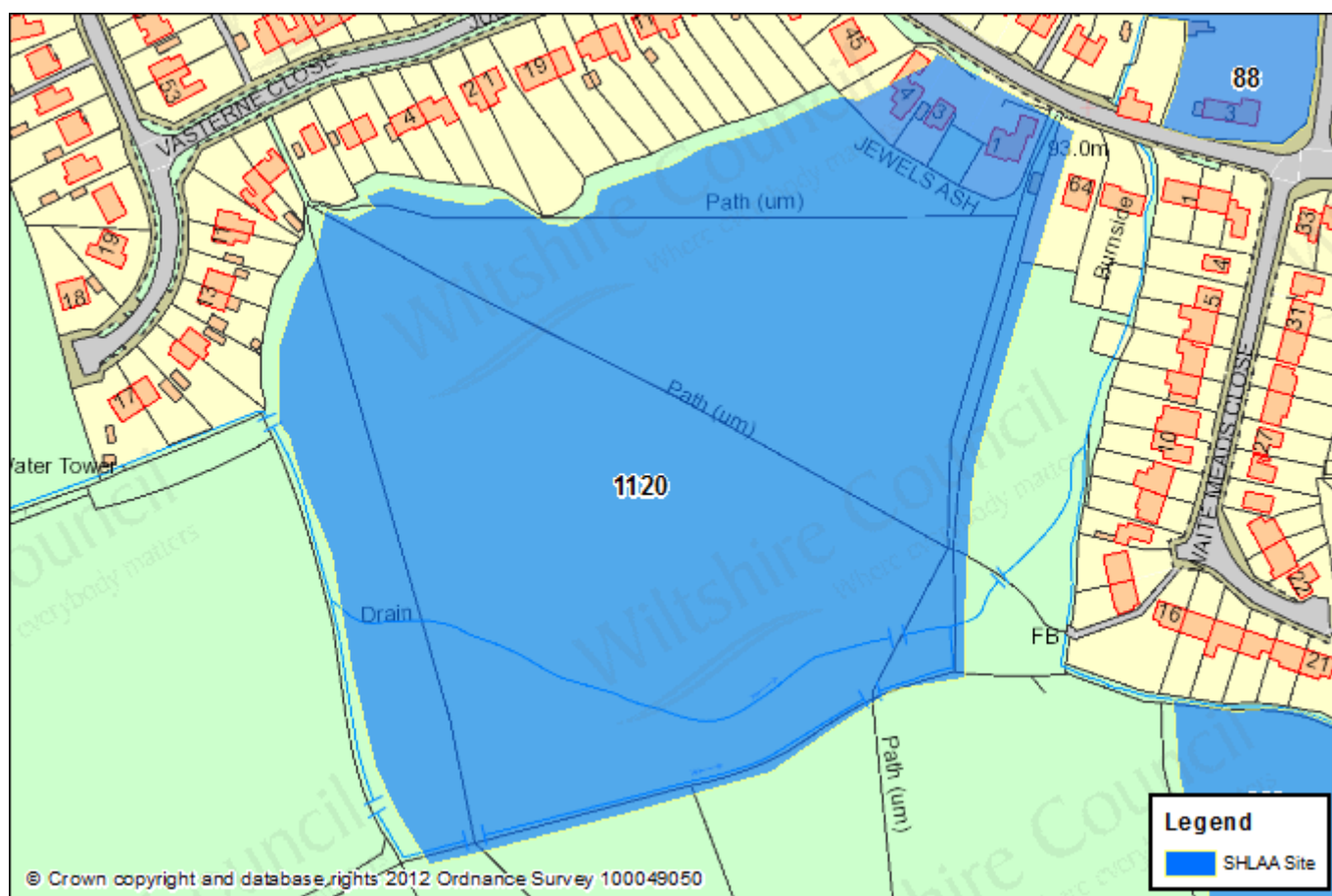
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 1120-Land Rear of Jewels Ash



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land Rear of Jewels Ash		
Settlement	Purton		
Gross site area	4.31ha	Previous use	Agricultural
Suitable site area ¹	4.31 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	3.23ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	97	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

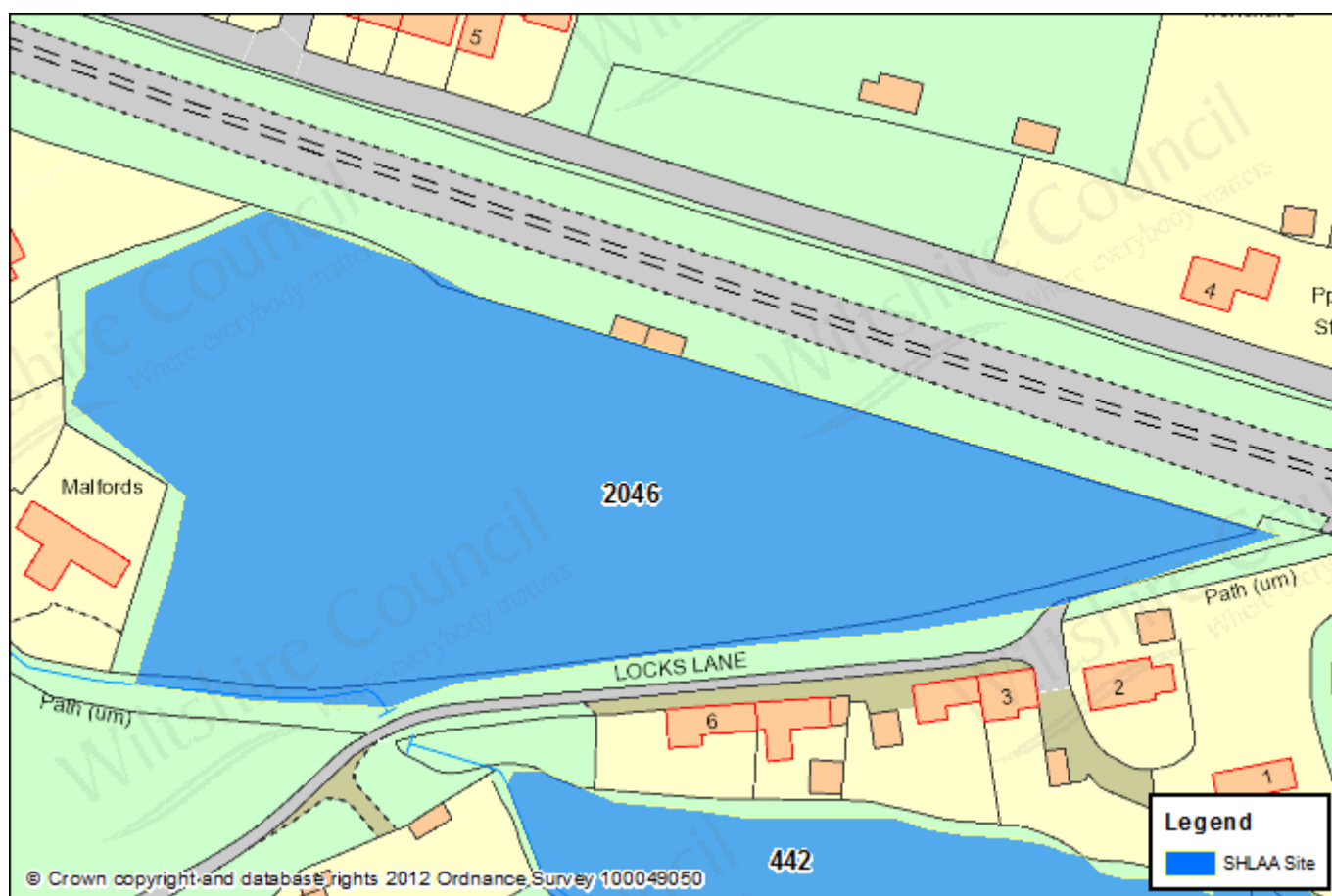
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2046-Land at Locks Lane



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Locks Lane		
Settlement	Purton		
Gross site area	0.89ha	Previous use	Agricultural
Suitable site area ¹	0.74 ha		
Reason for smaller suitable area	Part of the site is within an HSE exclusion zone		
Developable Site Area ²	0.59ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	18	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

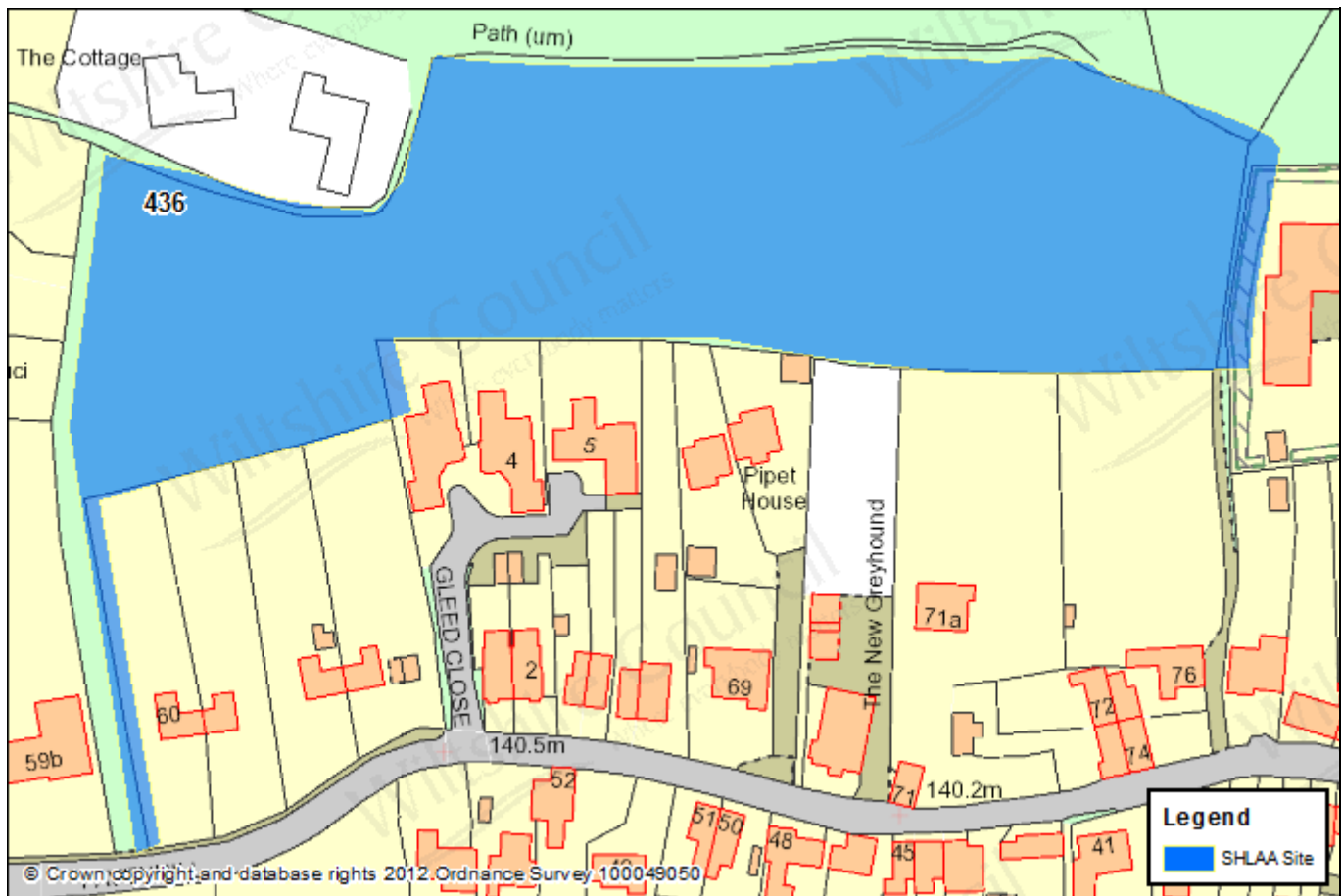
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 436-Land North of Pavenhill



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land North of Pavenhill		
Settlement	Purton		
Gross site area	1.32ha	Previous use	Agricultural
Suitable site area ¹	1.32 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	1.05ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple ownership in agreement for development		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	30	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

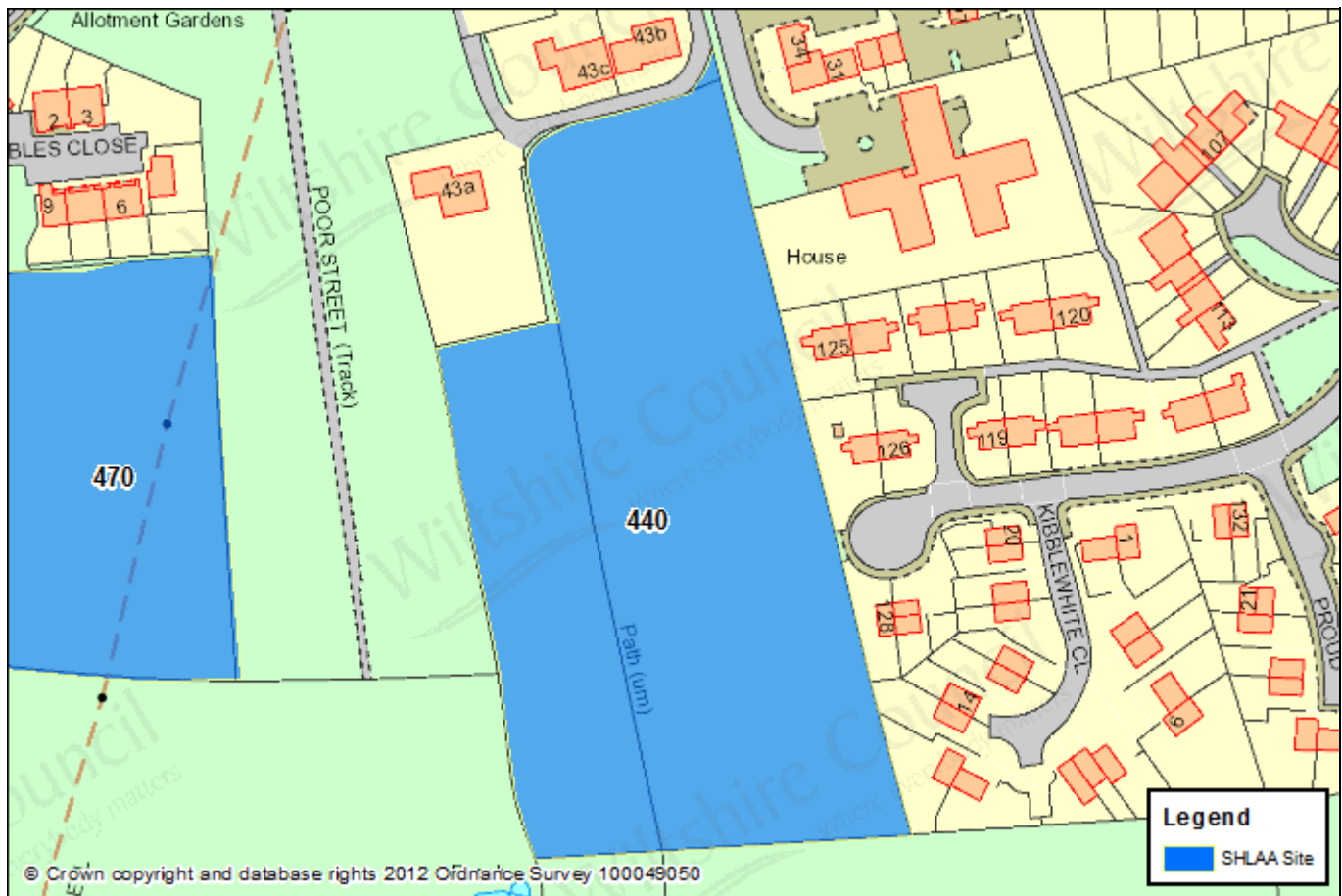
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 440-Land off Willis Way



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land off Willis Way		
Settlement	Purton		
Gross site area	1.33ha	Previous use	Agricultural
Suitable site area ¹	1.33 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	1.06ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	36	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

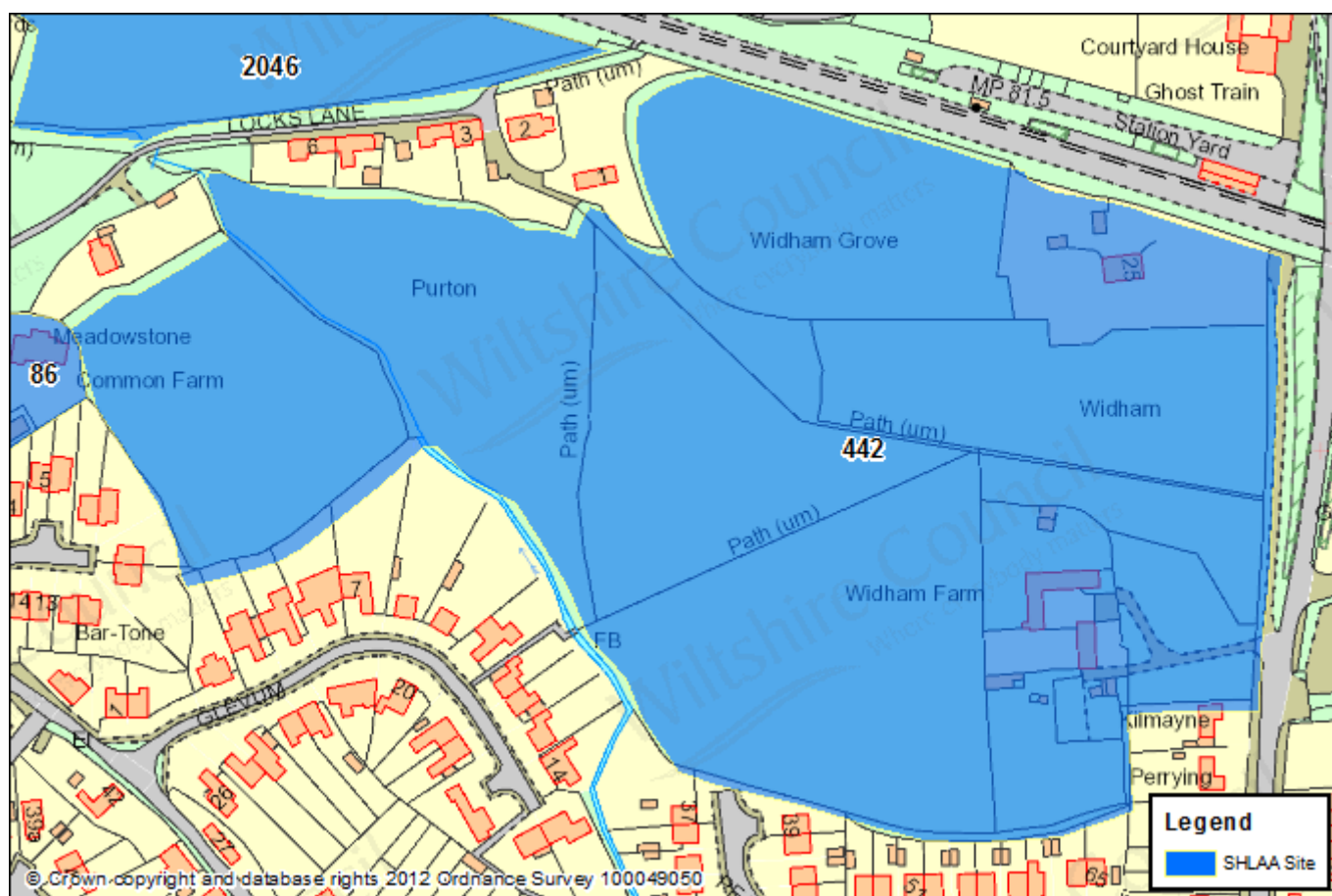
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 442-Widham Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Widham Farm		
Settlement	Purton		
Gross site area	5.74ha	Previous use	Agricultural
Suitable site area ¹	5.74 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	4.31ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone	Contains or adjacent to a Listed Building	
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	129	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

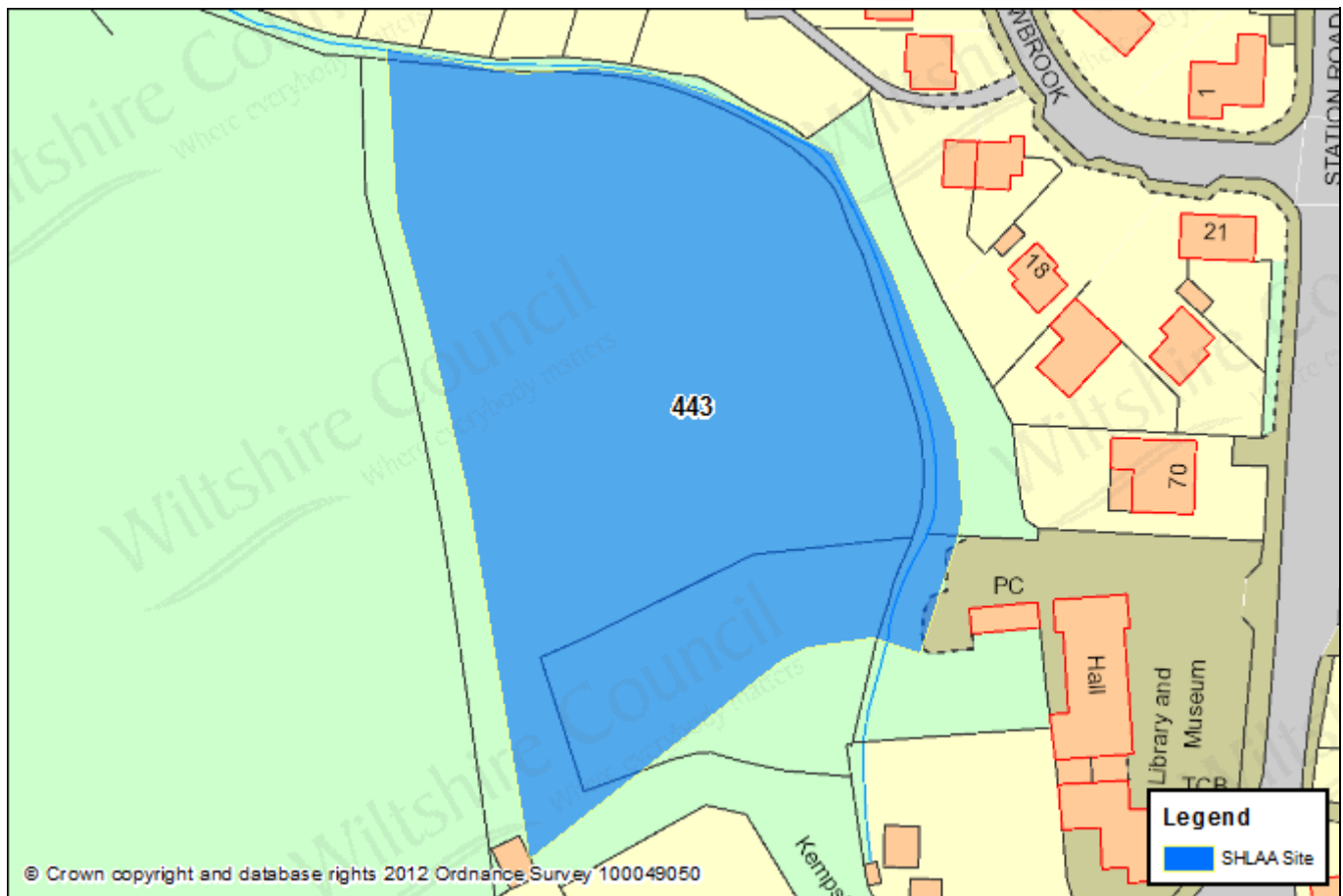
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 443-Land to the Rear of Purton Court No. 3



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land to the Rear of Purton Court No. 3		
Settlement	Purton		
Gross site area	0.66ha	Previous use	Agricultural
Suitable site area ¹	0.58 ha		
Reason for smaller suitable area	Part of the site has recently been developed,		
Developable Site Area ²	0.46ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	14	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

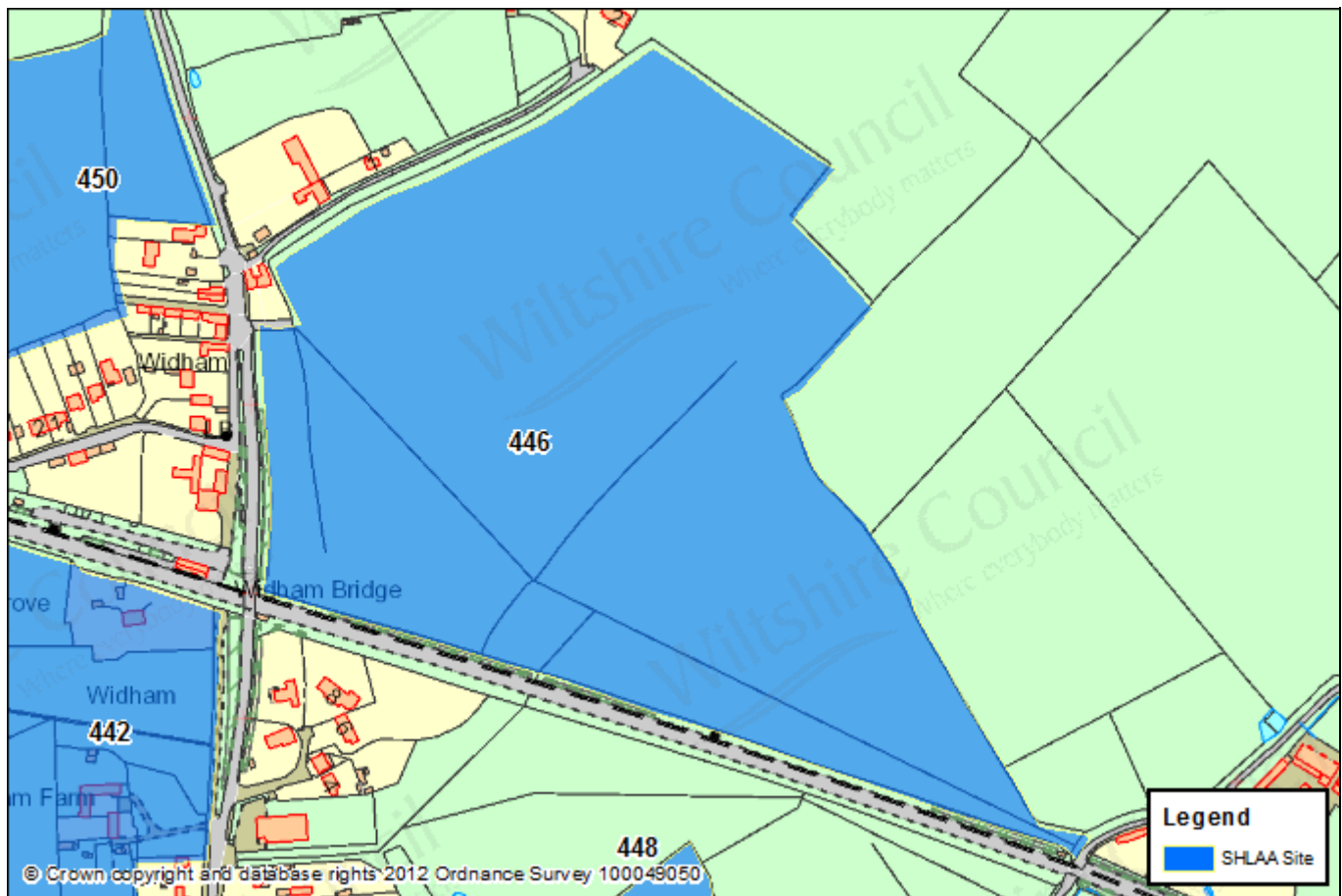
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 446-Land at Hansells Farm 2



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Hansells Farm 2		
Settlement	Purton		
Gross site area	11.03ha	Previous use	Agricultural
Suitable site area ¹	11.03 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	5.51ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	90	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

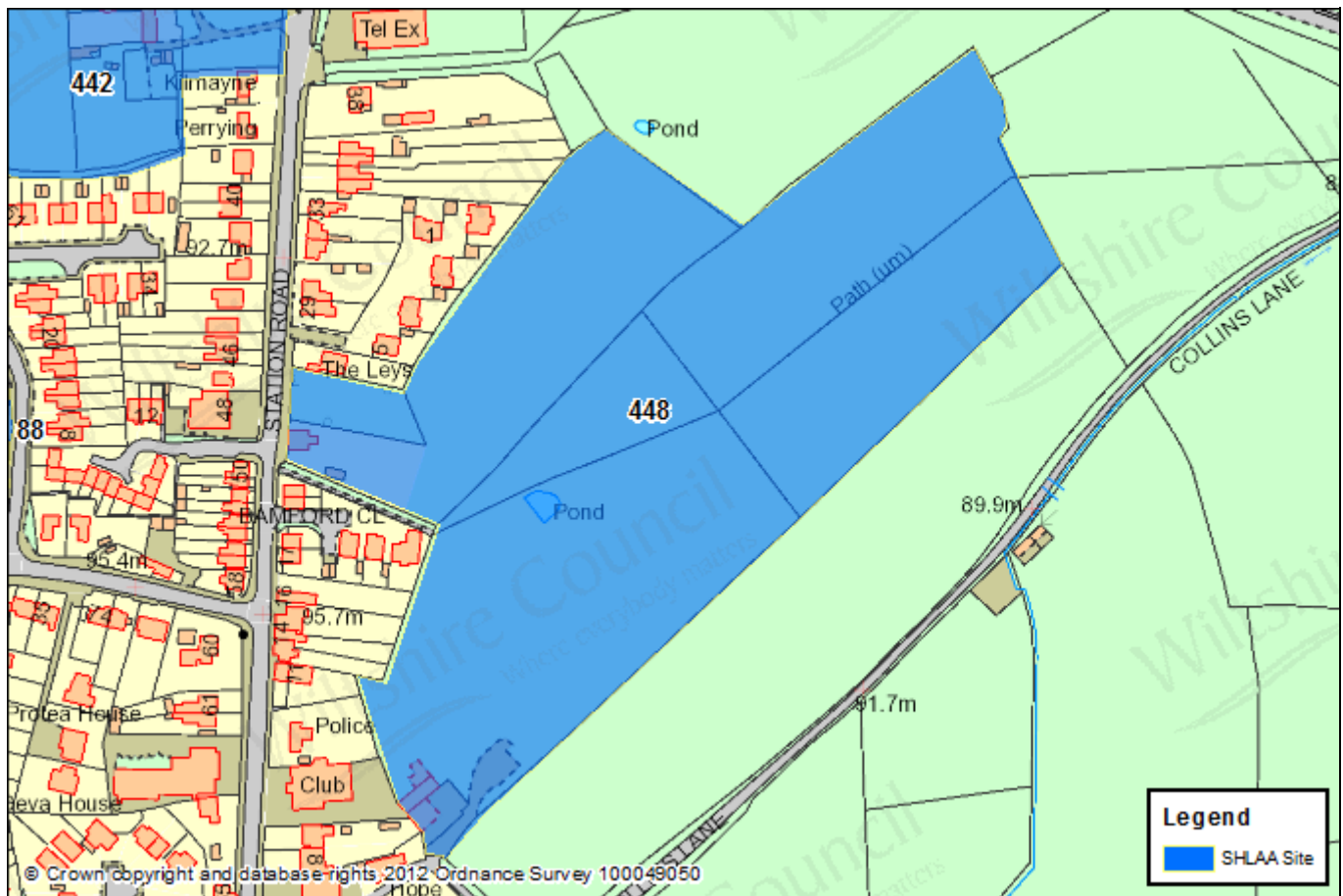
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 448-Land off Station Road



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land off Station Road		
Settlement	Purton		
Gross site area	4.46ha	Previous use	Agricultural
Suitable site area ¹	4.24 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	3.18ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple ownership in agreement for development		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	95	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

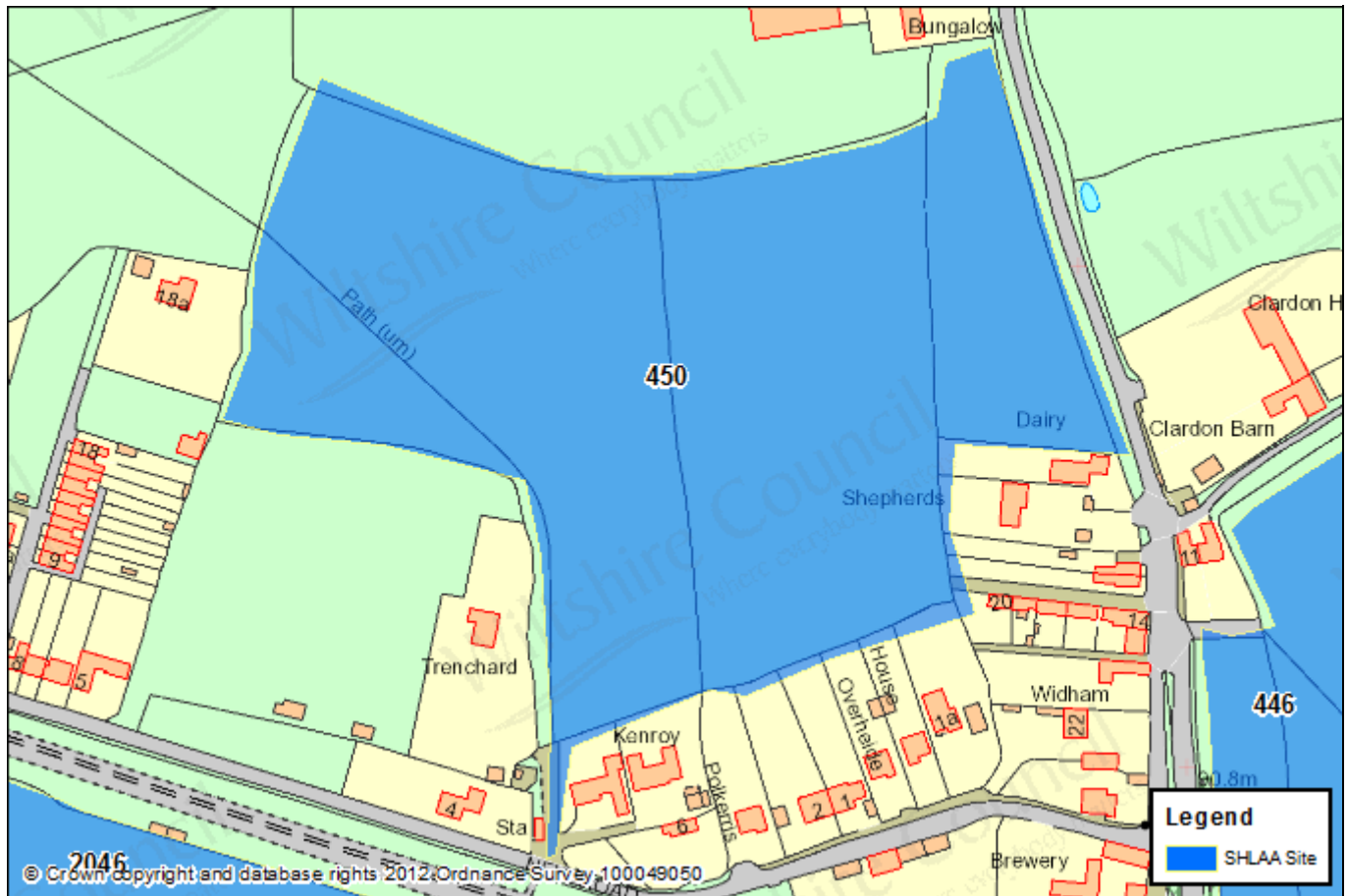
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 450-Land at Hansells Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Hansells Farm		
Settlement	Purton		
Gross site area	3.84ha	Previous use	Agricultural
Suitable site area ¹	3.20 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere, Part of the site is within an HSE exclusion zone		
Developable Site Area ²	2.40ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	200	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

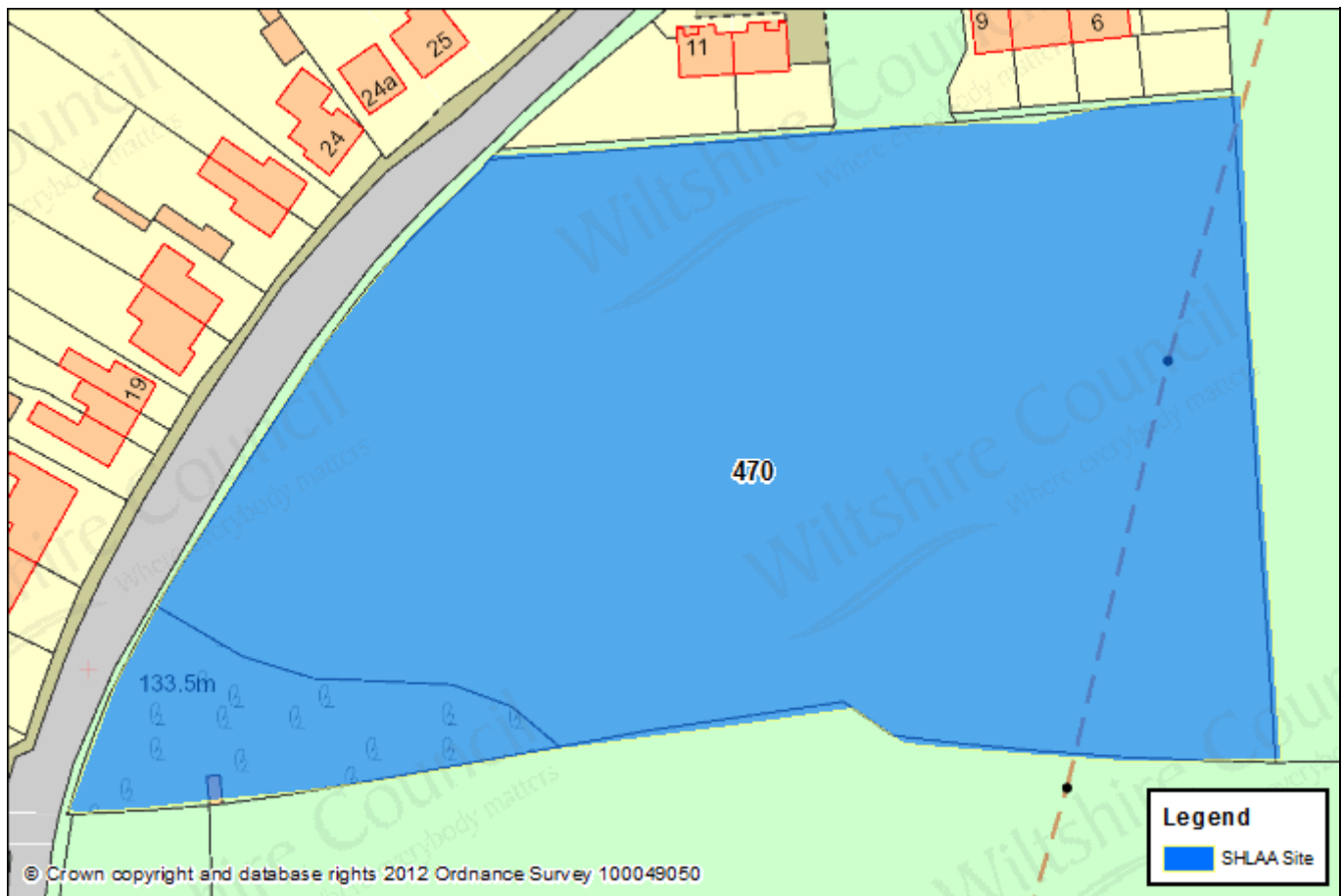
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 470-Land at Restrop Road



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Restrop Road		
Settlement	Purton		
Gross site area	1.43ha	Previous use	Agricultural
Suitable site area ¹	1.43 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	1.15ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	35	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

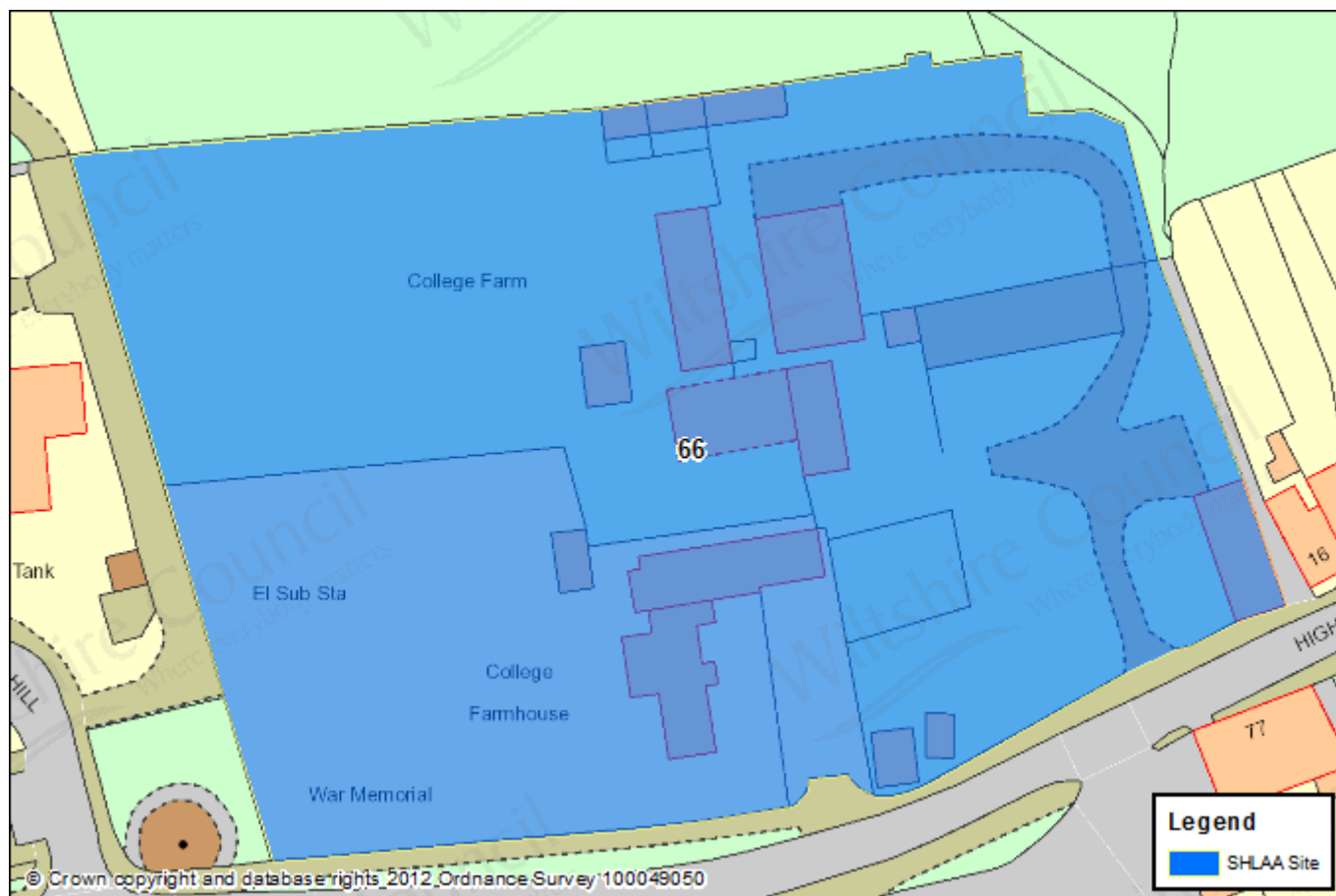
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 66-Derelict Cottage Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Derelict Cottage Farm		
Settlement	Purton		
Gross site area	0.92ha	Previous use	Agricultural
Suitable site area ¹	0.92 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.73ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone	Contains or adjacent to a Listed Building	
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	22	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

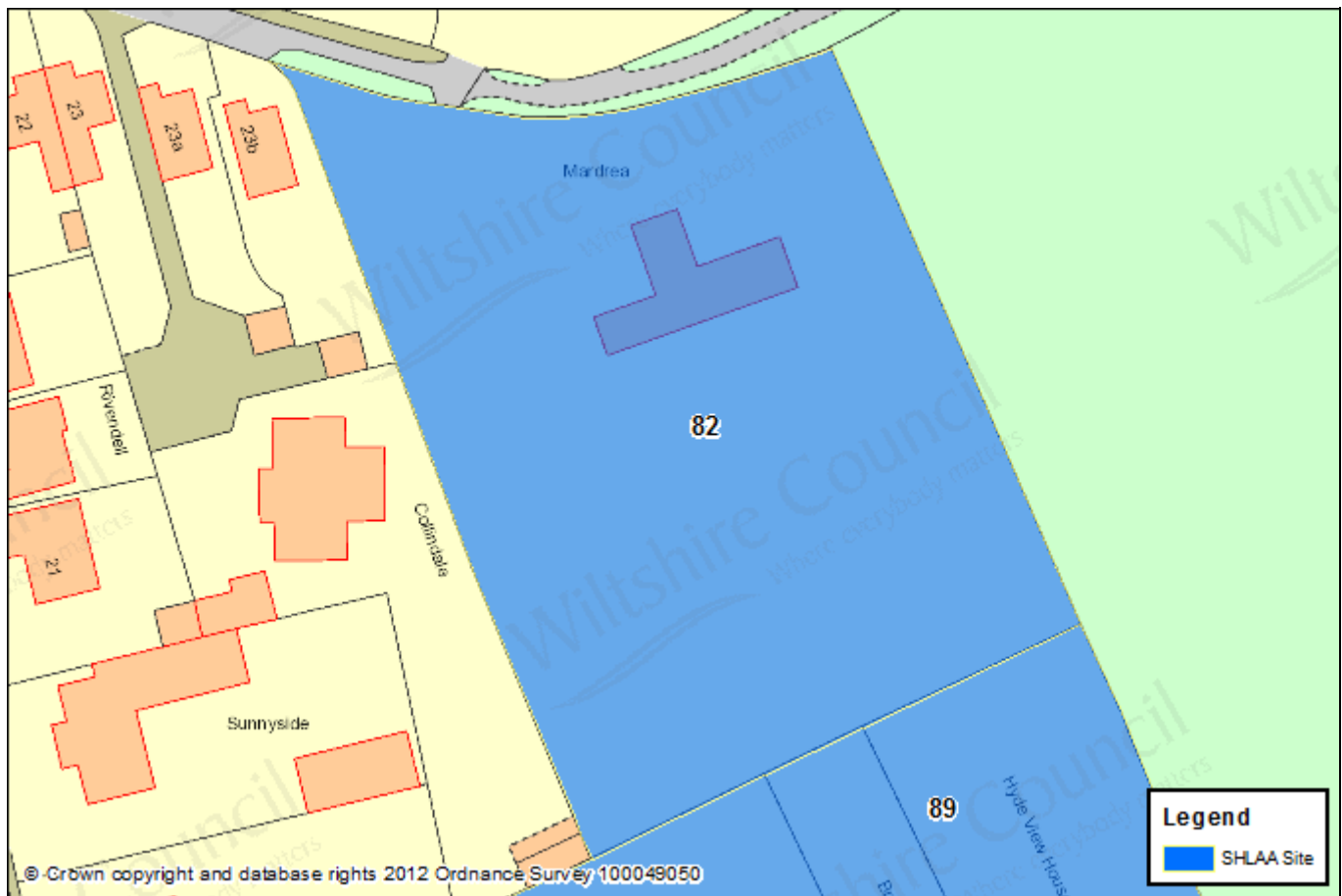
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 82-Land Mardove



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land Mardove		
Settlement	Purton		
Gross site area	0.60ha	Previous use	Agricultural
Suitable site area ¹	0.60 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.48ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	14	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

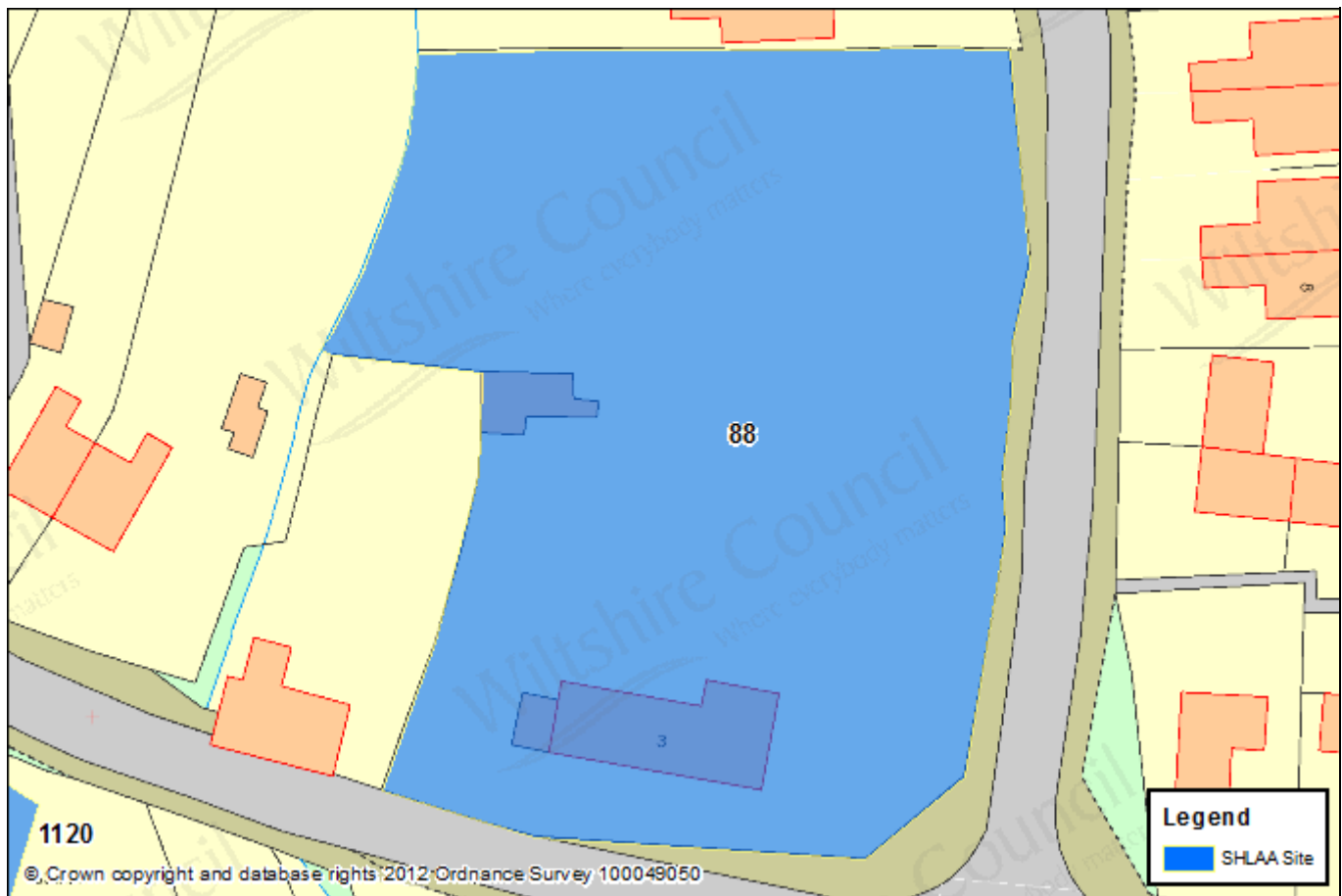
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 88-Corner Site



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Corner Site		
Settlement	Purton		
Gross site area	0.29ha	Previous use	Vacant
Suitable site area ¹	0.24 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	0.21ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	6	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

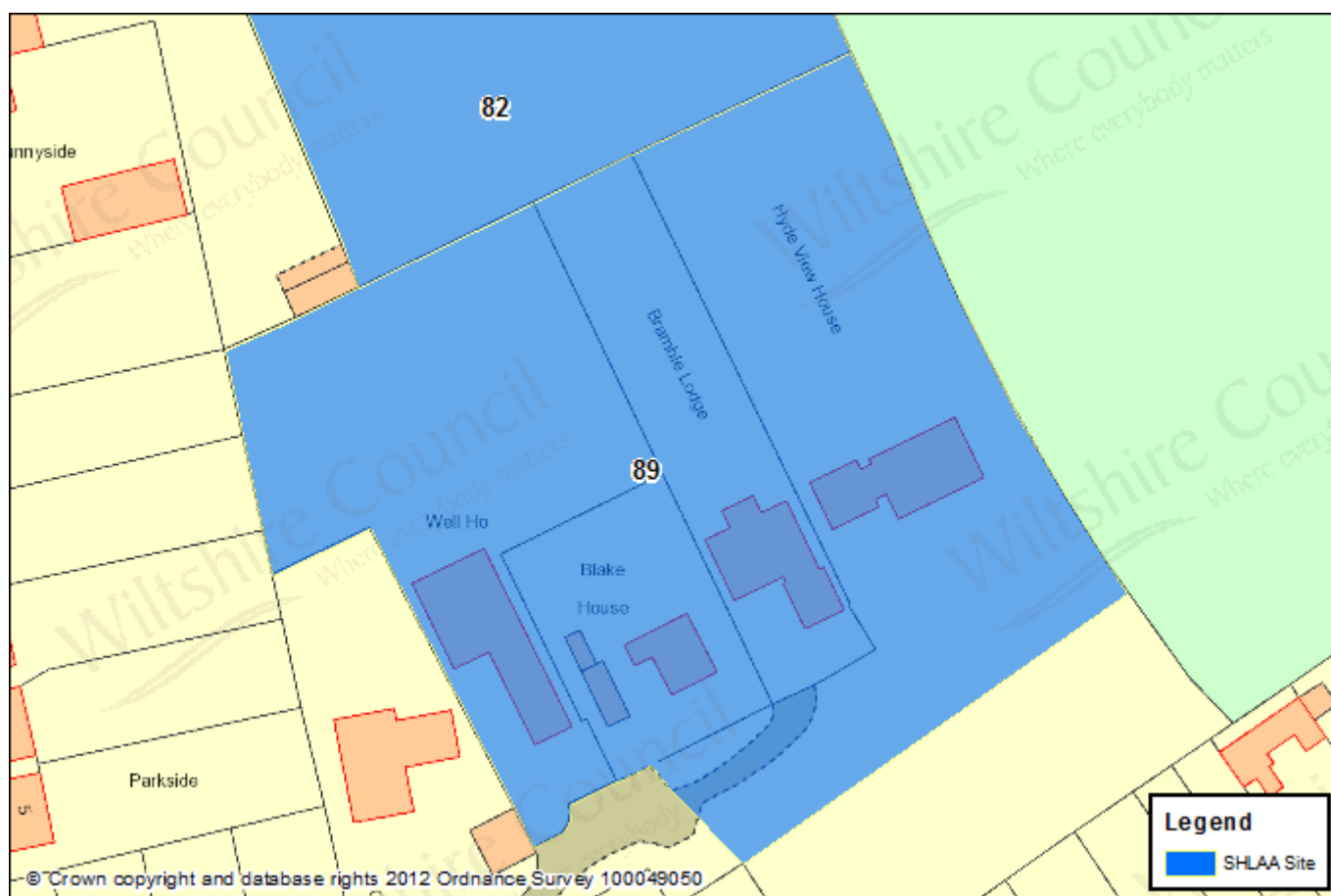
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 89-Blake House



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Blake House		
Settlement	Purton		
Gross site area	0.66ha	Previous use	Agricultural
Suitable site area ¹	0.65 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	0.52ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	16	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

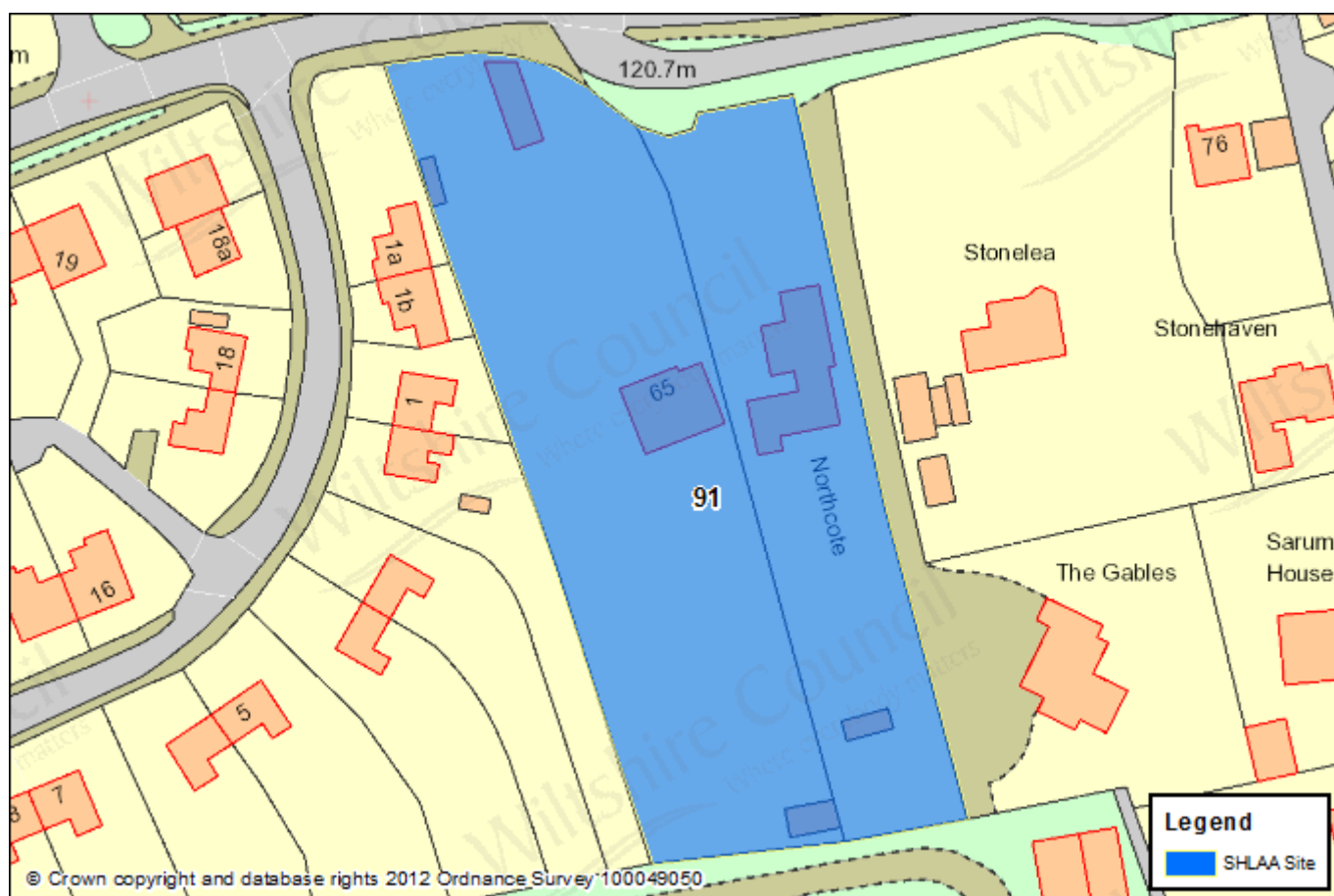
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 91-Land at Northcote



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Northcote		
Settlement	Purton		
Gross site area	0.62ha	Previous use	Agricultural
Suitable site area ¹	0.62 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.49ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	15	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

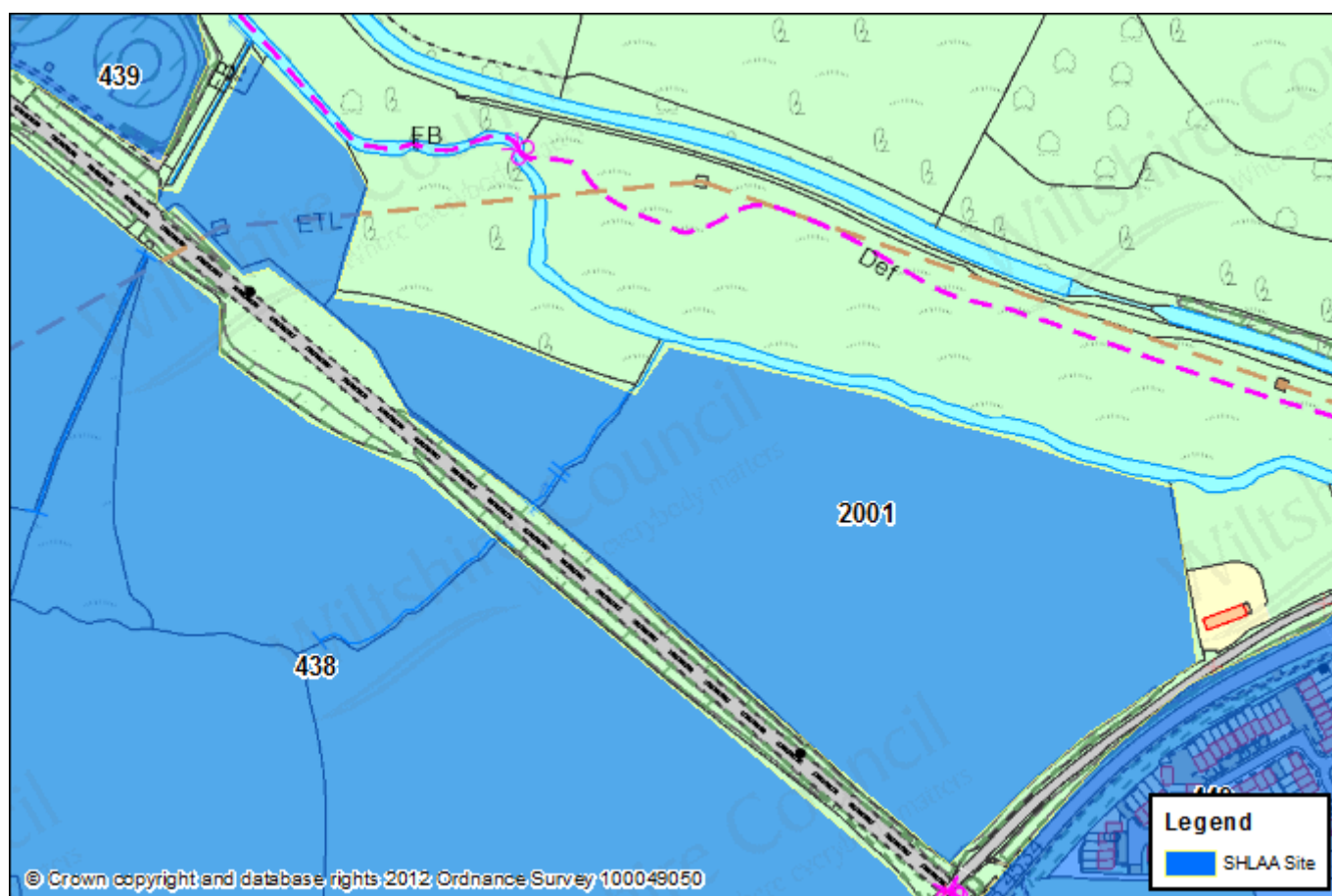
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2001-Land North of Moredon Bridge



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land North of Moredon Bridge		
Settlement	Swindon		
Gross site area	7.78ha	Previous use	Agricultural
Suitable site area ¹	3.75 ha		
Reason for smaller suitable area	Part of the site is within a flood risk zone, Part of the site is within an HSE exclusion zone		
Developable Site Area ²	2.81ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within or adjacent to a County Wildlife Site Zone		Within a Minerals Resource Zone Further than 400m from a bus stop or town centre
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	200	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

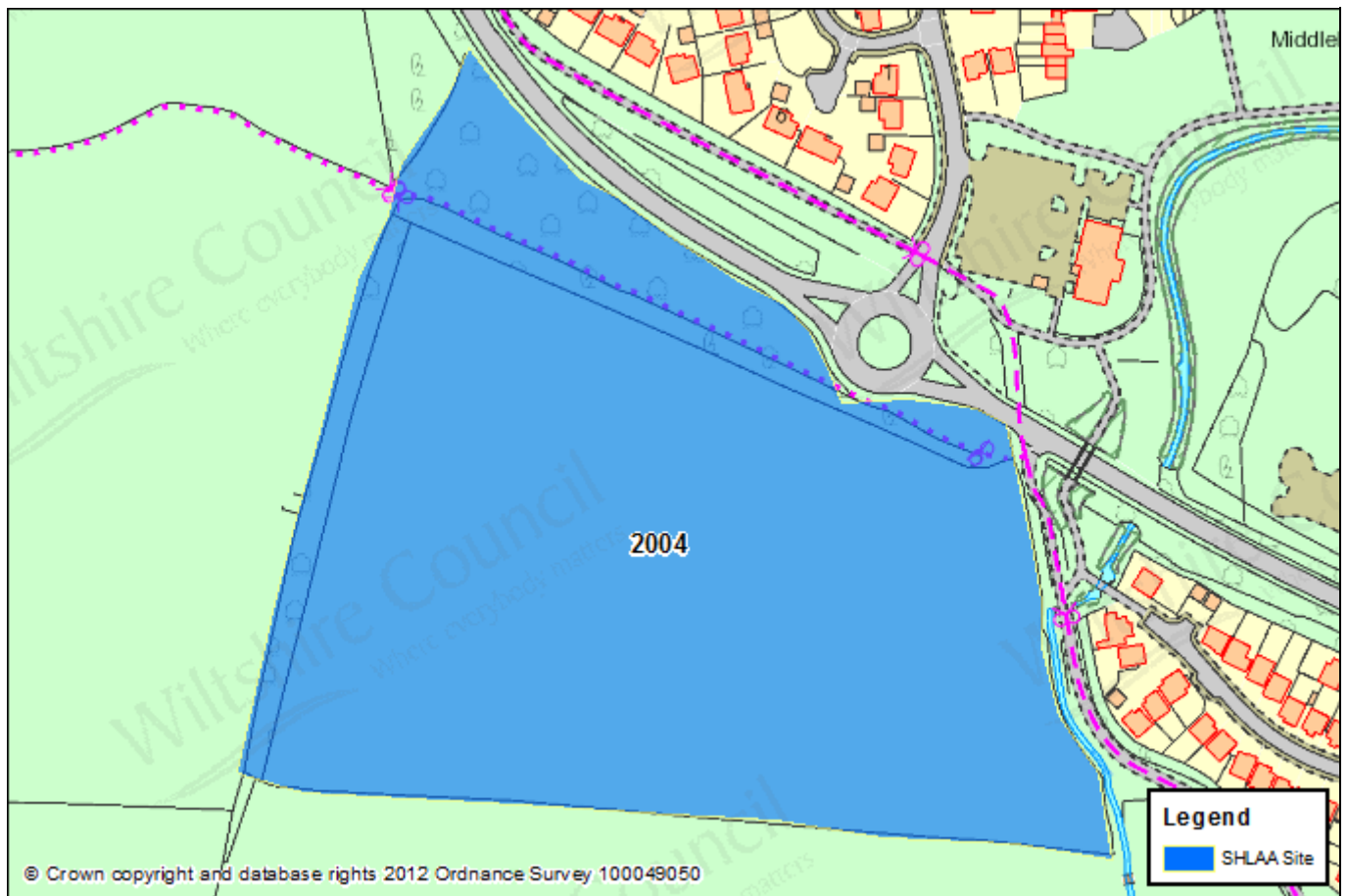
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2004-Land South of Tewkesbury Way



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Tewkesbury Way		
Settlement	Swindon		
Gross site area	6.42ha	Previous use	Agricultural
Suitable site area ¹	4.59 ha		
Reason for smaller suitable area	Part of the site is within a flood risk zone,		
Developable Site Area ²	3.45ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone	Within or adjacent Historic Park or Garden	
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	104	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

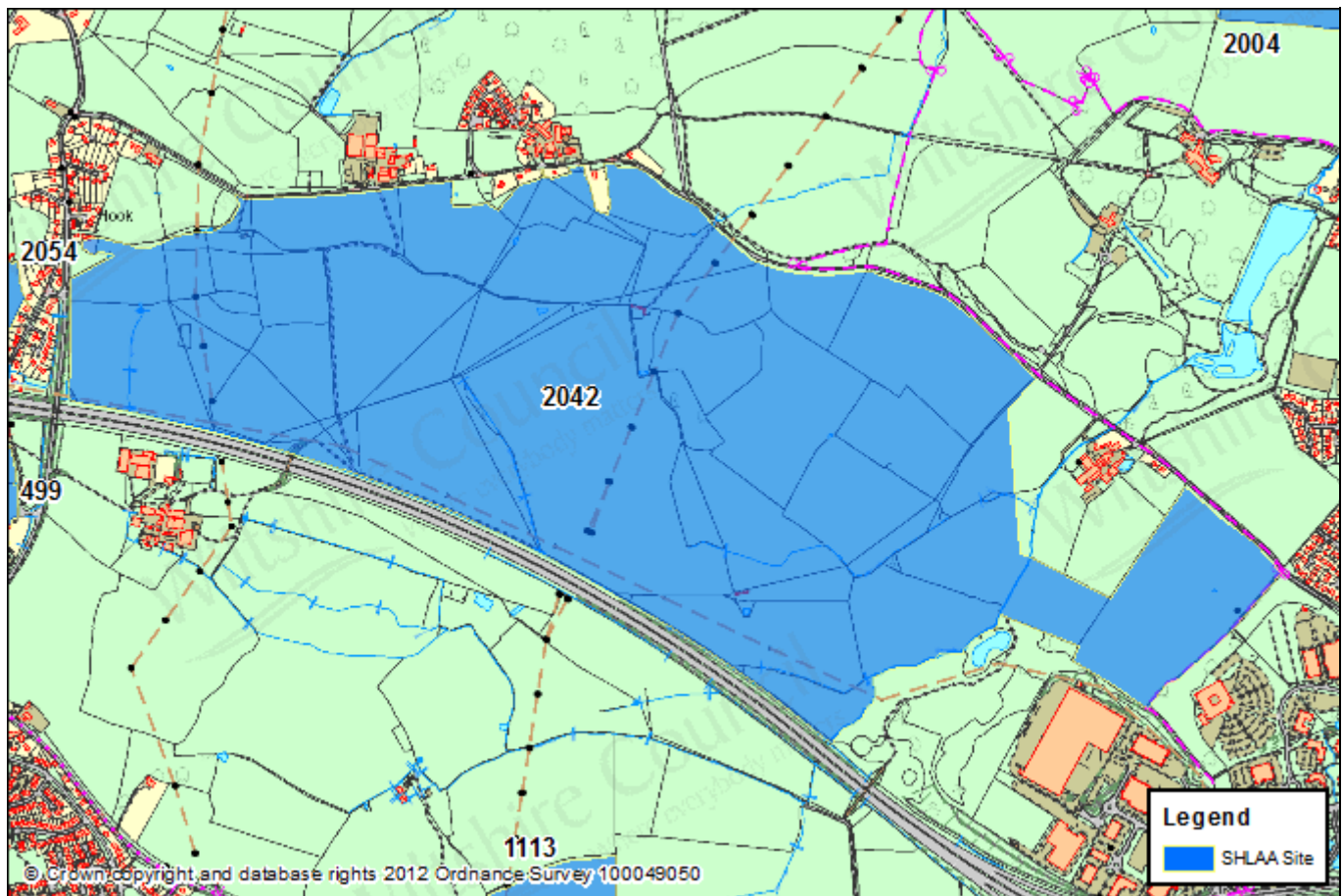
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2042-Land North of M4



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land North of M4		
Settlement	Swindon		
Gross site area	176.23ha	Previous use	Agricultural
Suitable site area ¹	175.30 ha		
Reason for smaller suitable area	Part of the site is within a flood risk zone,		
Developable Site Area ²	87.65ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within or adjacent to a County Wildlife Site	Within a Minerals Resource Zone	
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	2630	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

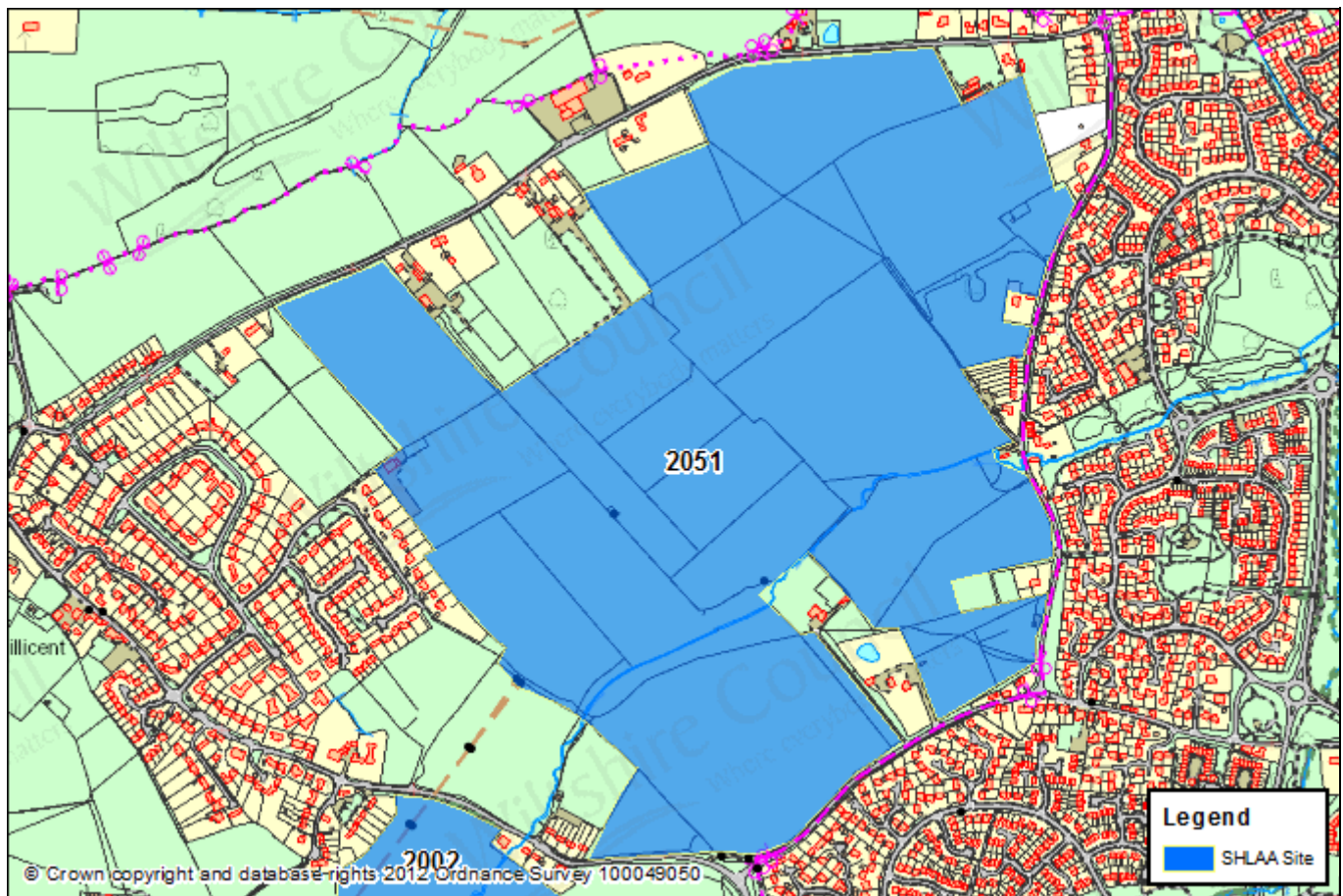
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2051-Land South of Stone Lane. Part 1



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Stone Lane. Part 1		
Settlement	Swindon		
Gross site area	69.72ha	Previous use	Agricultural
Suitable site area ¹	67.66 ha		
Reason for smaller suitable area	Part of the site has recently been developed, Part of the site is within a flood risk zone,		
Developable Site Area ²	33.83ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	514	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

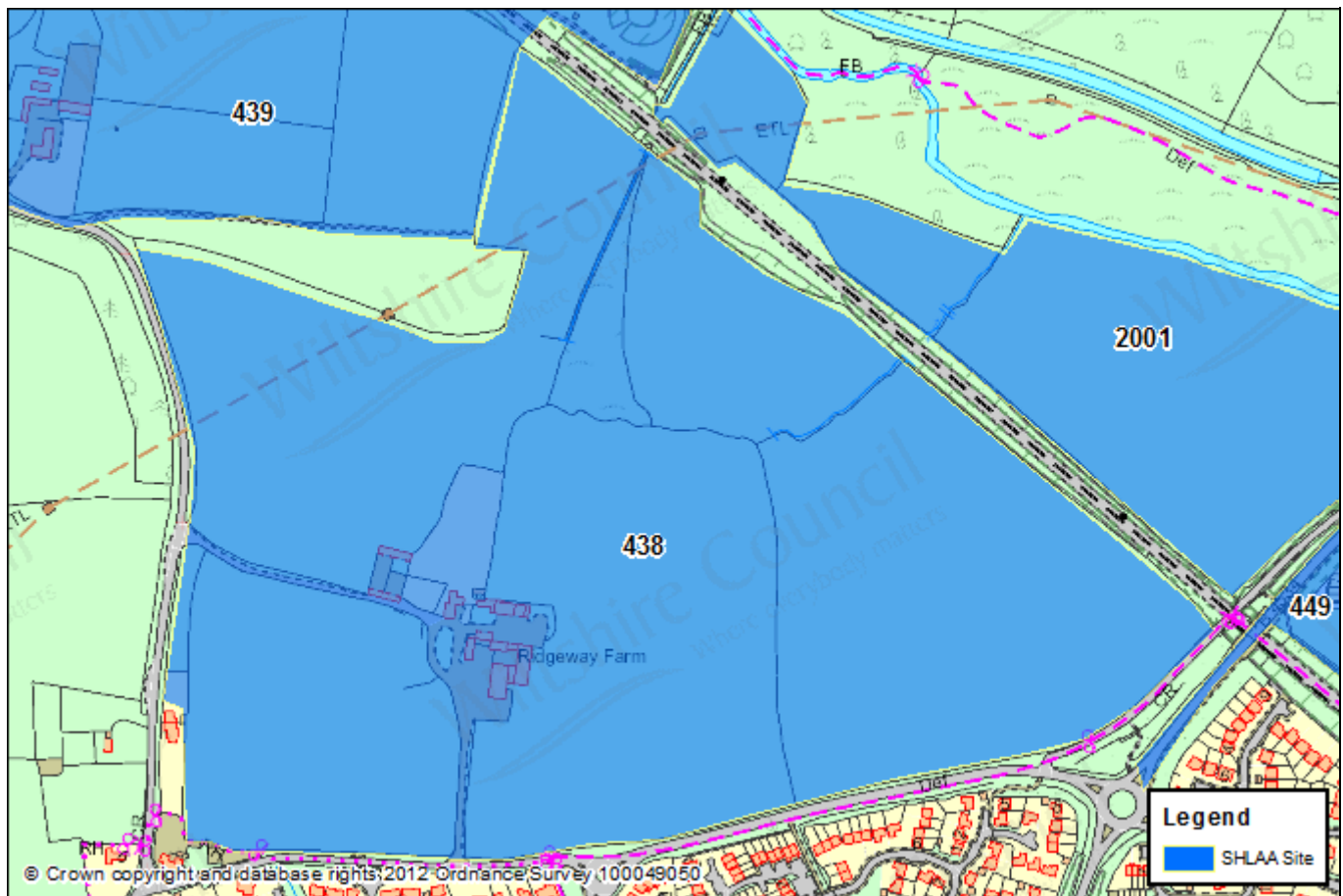
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 438-Ridgeway Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Ridgeway Farm		
Settlement	Swindon		
Gross site area	29.51ha	Previous use	Agricultural
Suitable site area ¹	28.65 ha		
Reason for smaller suitable area	Part of the site is within an HSE exclusion zone		
Developable Site Area ²	14.33ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	700	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

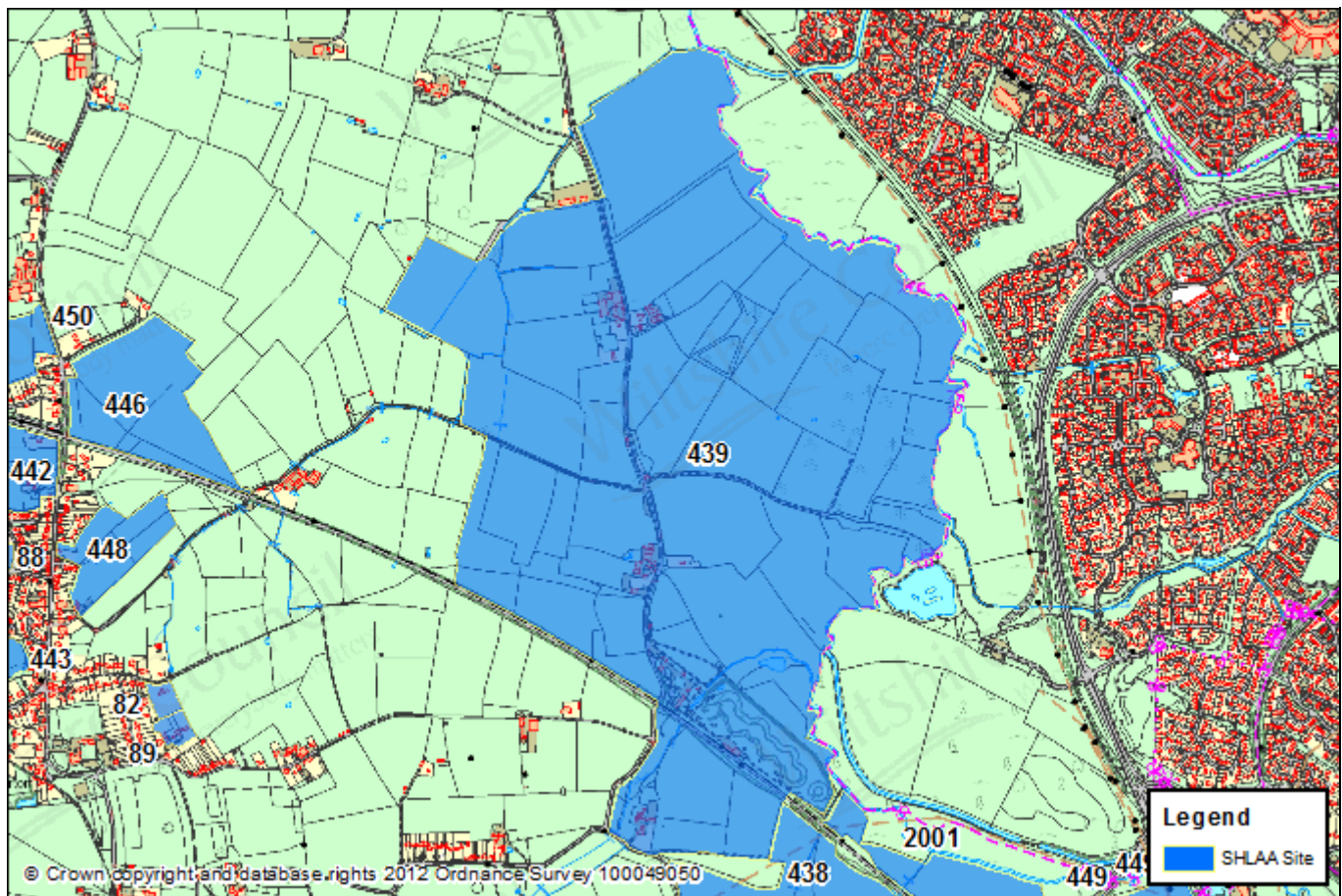
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 439-The Pry



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	The Pry		
Settlement	Swindon		
Gross site area	171.44ha	Previous use	Agricultural
Suitable site area ¹	113.62 ha		
Reason for smaller suitable area	Part of the site is within a flood risk zone, Part of the site is within an HSE exclusion zone		
Developable Site Area ²	56.81ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within or adjacent to a County Wildlife Site Zone Contains or adjacent to a Listed Building from a bus stop or town centre	Within a Minerals Resource Zone Further than 400m	
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	2000	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

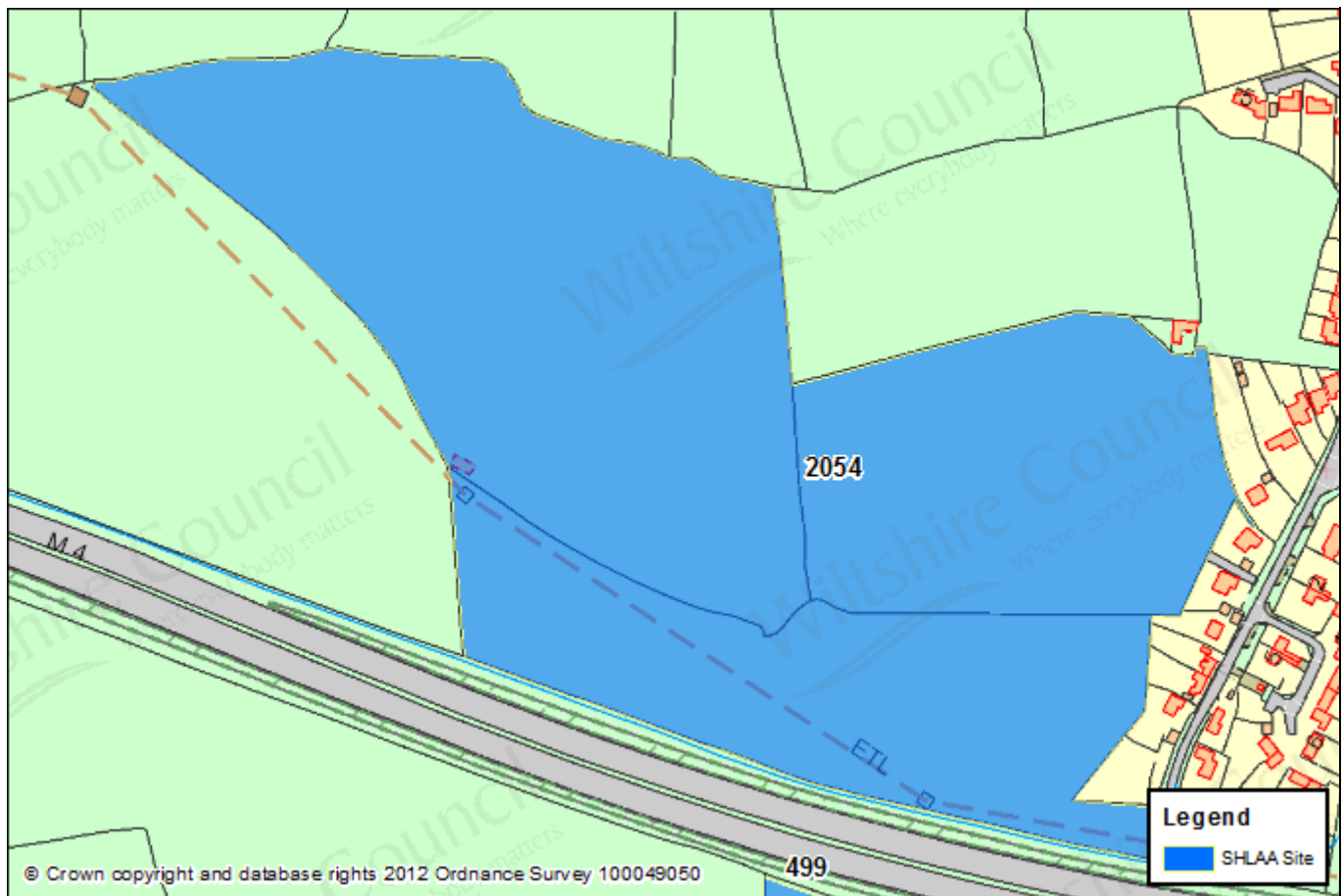
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 2054-Land South West of Hook



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South West of Hook		
Settlement	Royal Wootton Bassett		
Gross site area	14.62ha	Previous use	Agricultural
Suitable site area ¹	14.62 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	7.31ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within or adjacent to a County Wildlife Site	Within a Minerals Resource Zone	
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	490	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

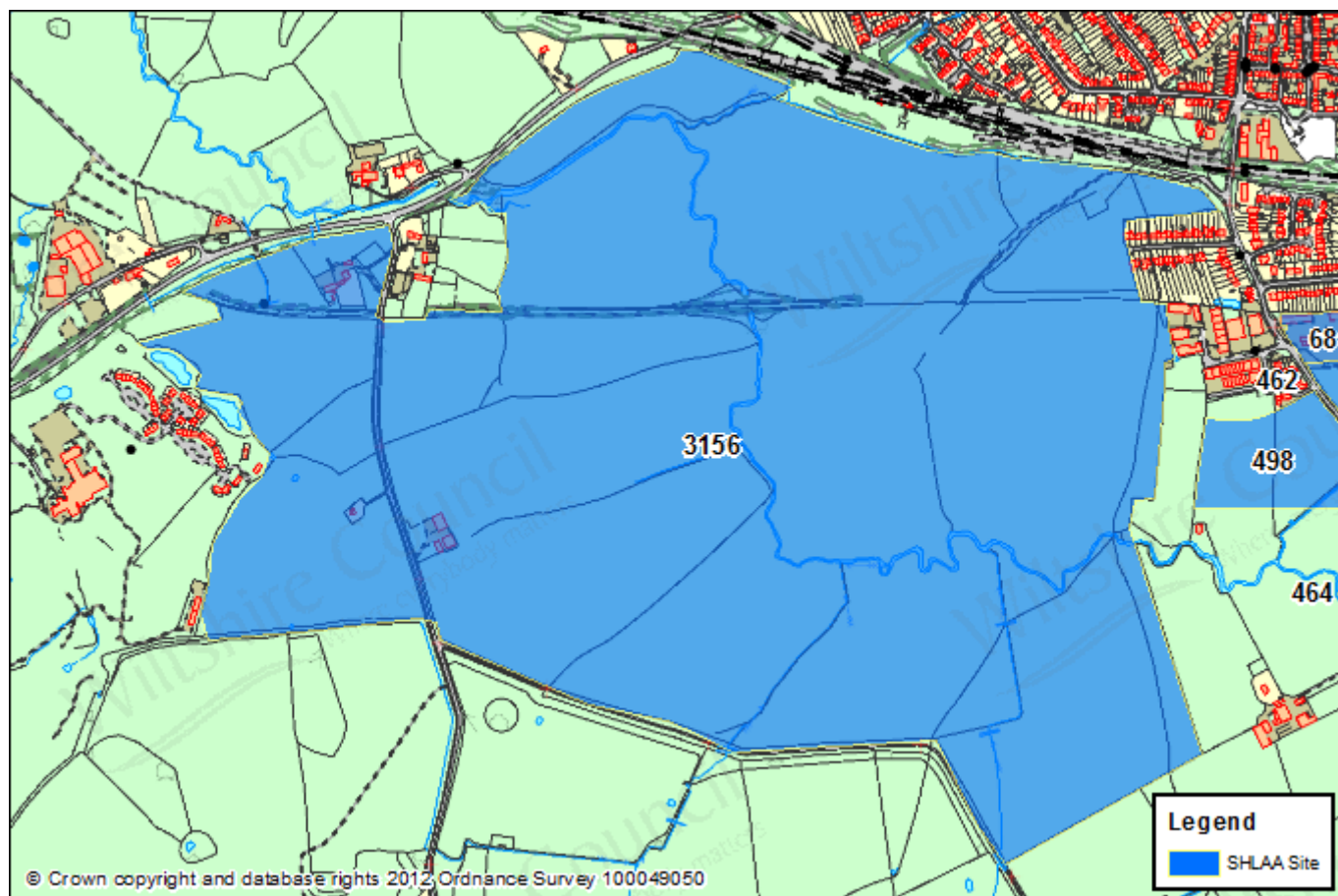
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3156-Land South of Royal Wootton Bassett



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Royal Wootton Bassett		
Settlement	Royal Wootton Bassett		
Gross site area	129.58ha	Previous use	Agricultural
Suitable site area ¹	104.53 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere, Part of the site is within a flood risk zone,		
Developable Site Area ²	52.26ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone	Contains or adjacent to a Listed Building	
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or Unknown Ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	1568	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

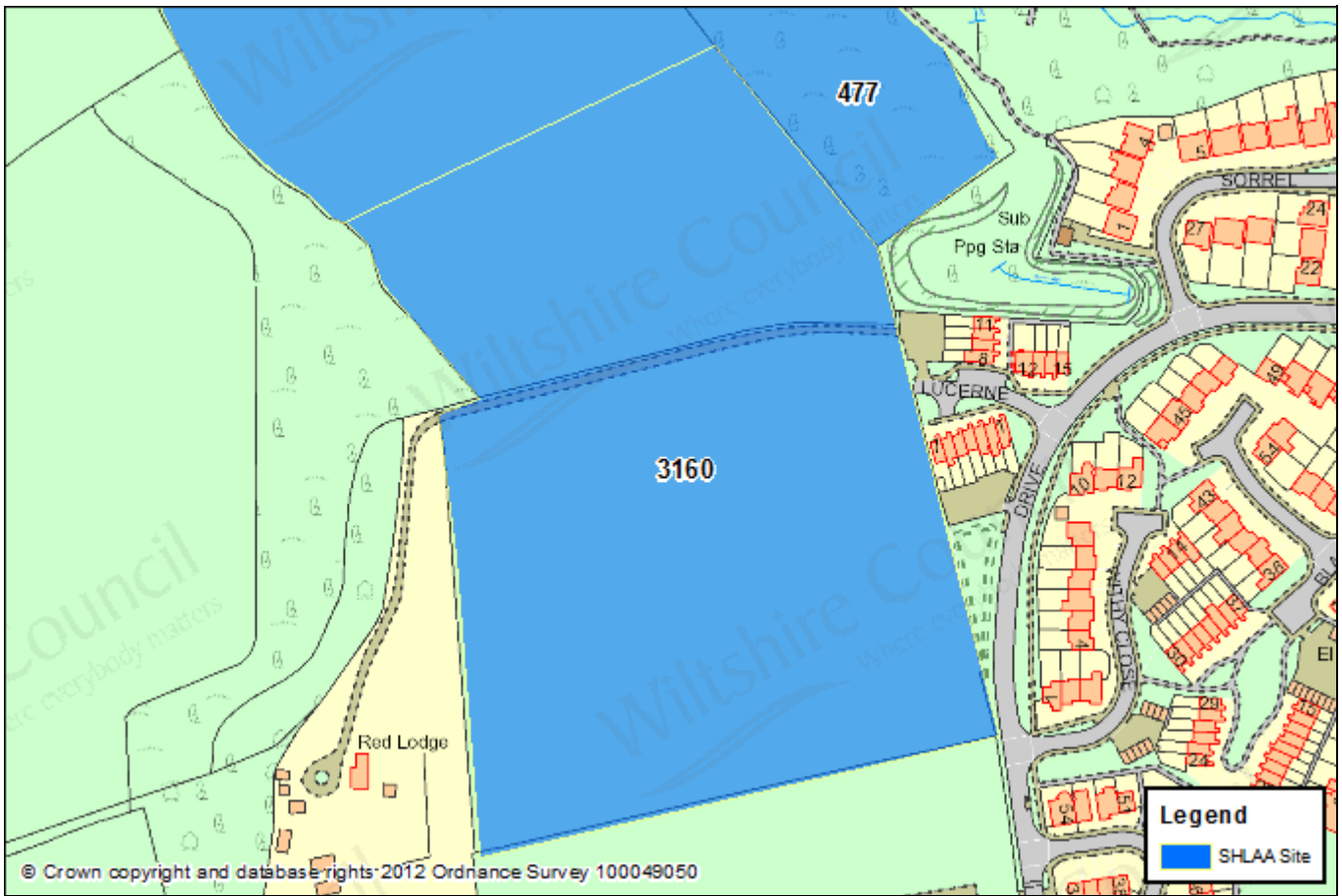
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3160-Land West of Maple Drive



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land West of Maple Drive		
Settlement	Royal Wootton Bassett		
Gross site area	4.76ha	Previous use	Agricultural
Suitable site area ¹	4.76 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	3.57ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	107	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

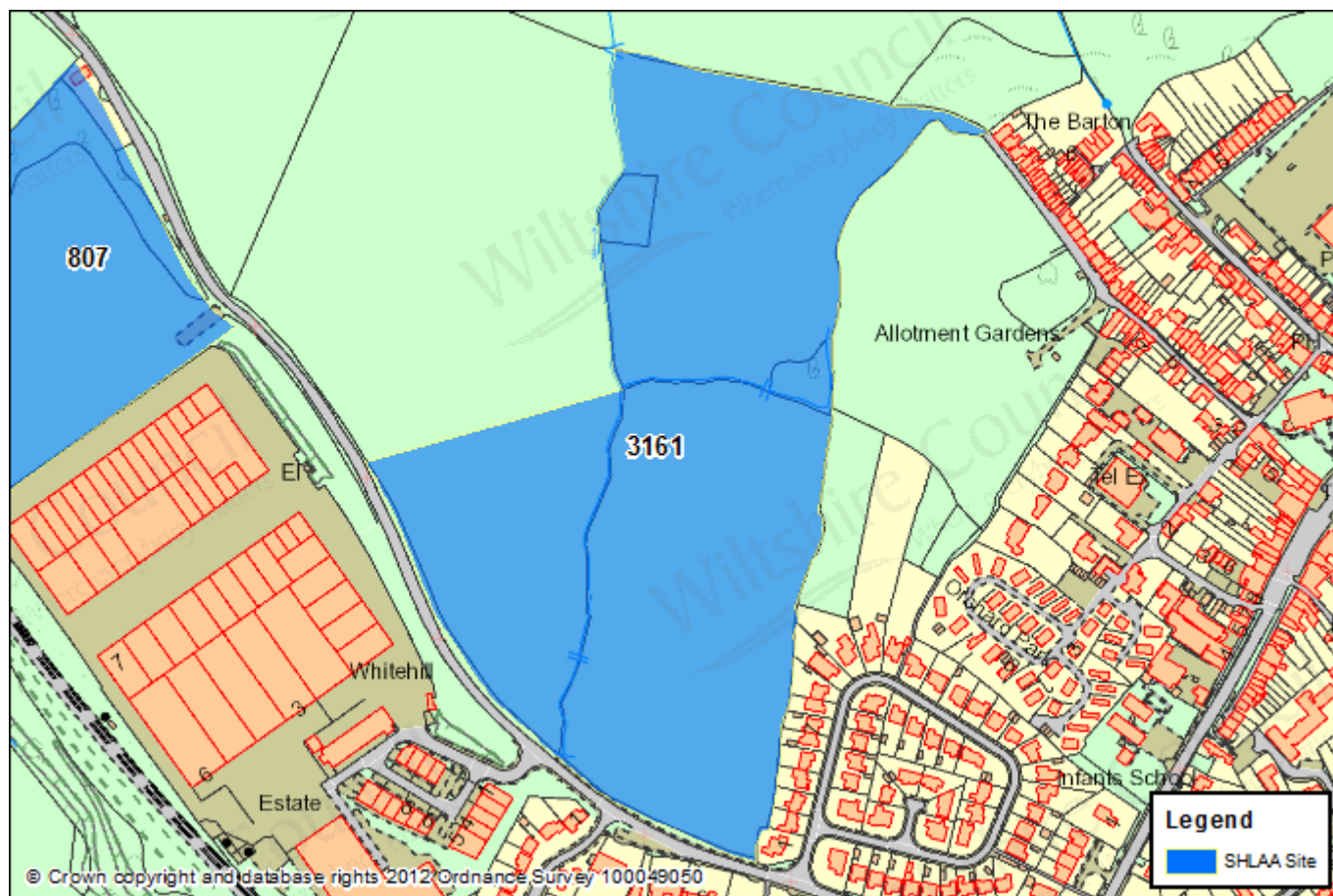
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3161-Land at Whitehill Lane



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land at Whitehill Lane		
Settlement	Royal Wootton Bassett		
Gross site area	8.86ha	Previous use	Agricultural
Suitable site area ¹	8.86 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	6.64ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single or Multiple Agreed Ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	150	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

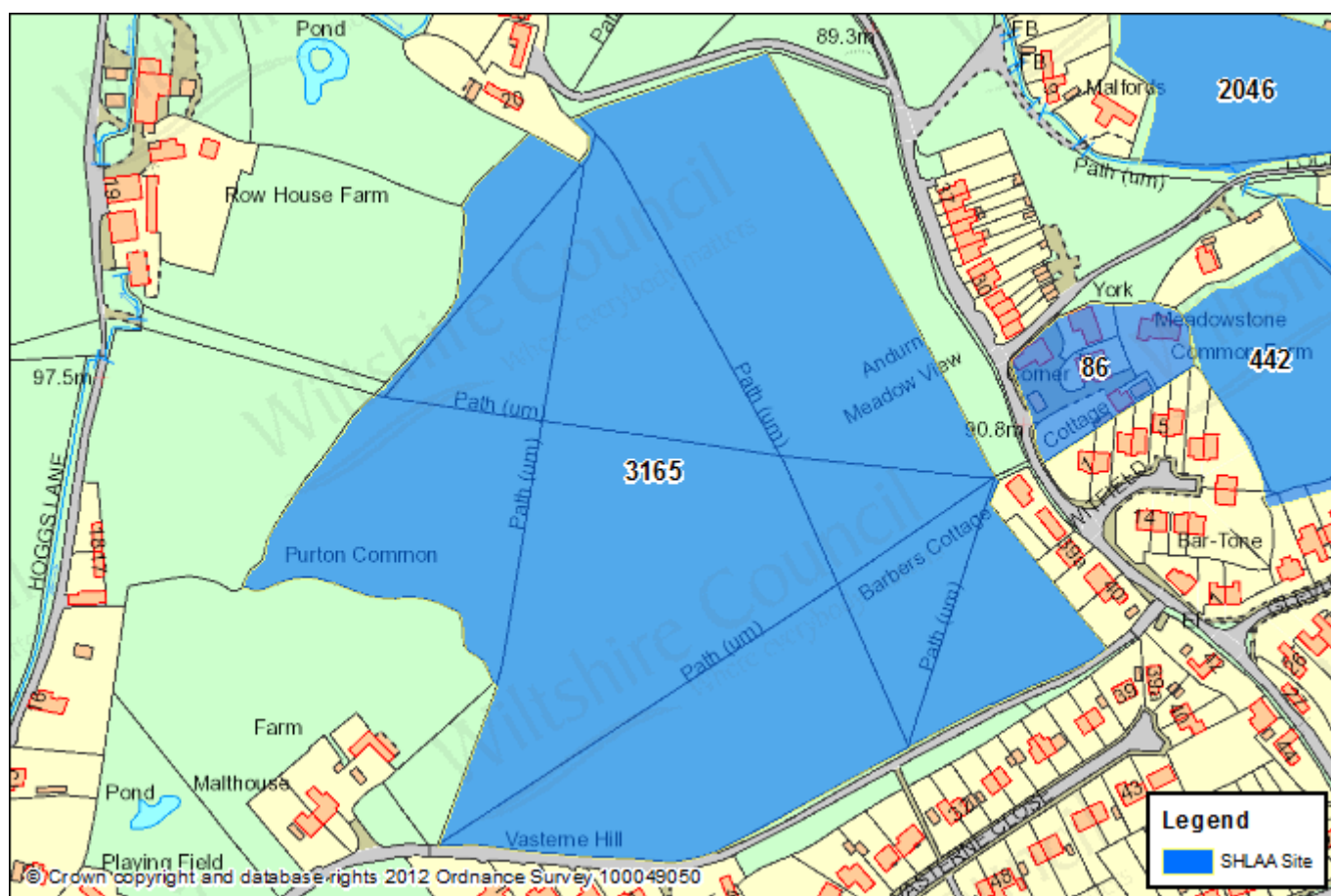
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 3165-Land North West of Purton



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land North West of Purton		
Settlement	Royal Wootton Bassett		
Gross site area	6.97ha	Previous use	Agricultural
Suitable site area ¹	5.78 ha		
Reason for smaller suitable area	Part of the site has recently been developed, Part of the site is within an HSE exclusion zone		
Developable Site Area ²	4.33ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone	Further than 400m from a bus stop or town centre	
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or Unknown Ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	130	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

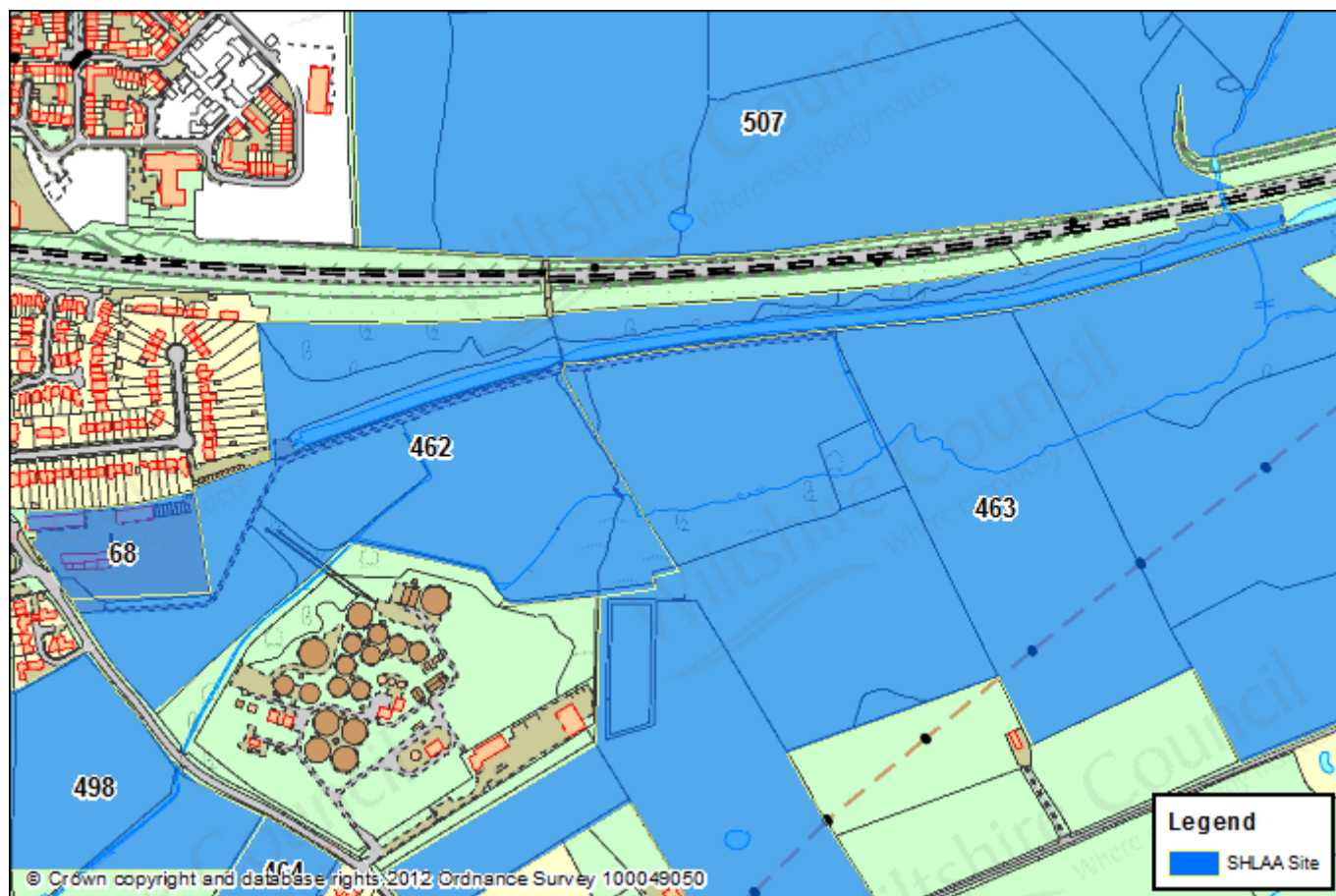
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 462-Land South of Royal Wootton Bassett - Part A



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Royal Wootton Bassett - Part A		
Settlement	Royal Wootton Bassett		
Gross site area	10.05ha	Previous use	Agricultural
Suitable site area ¹	8.93 ha		
Reason for smaller suitable area	Part of the site has recently been developed, Part of the site is within a flood risk zone,		
Developable Site Area ²	6.70ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	201	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

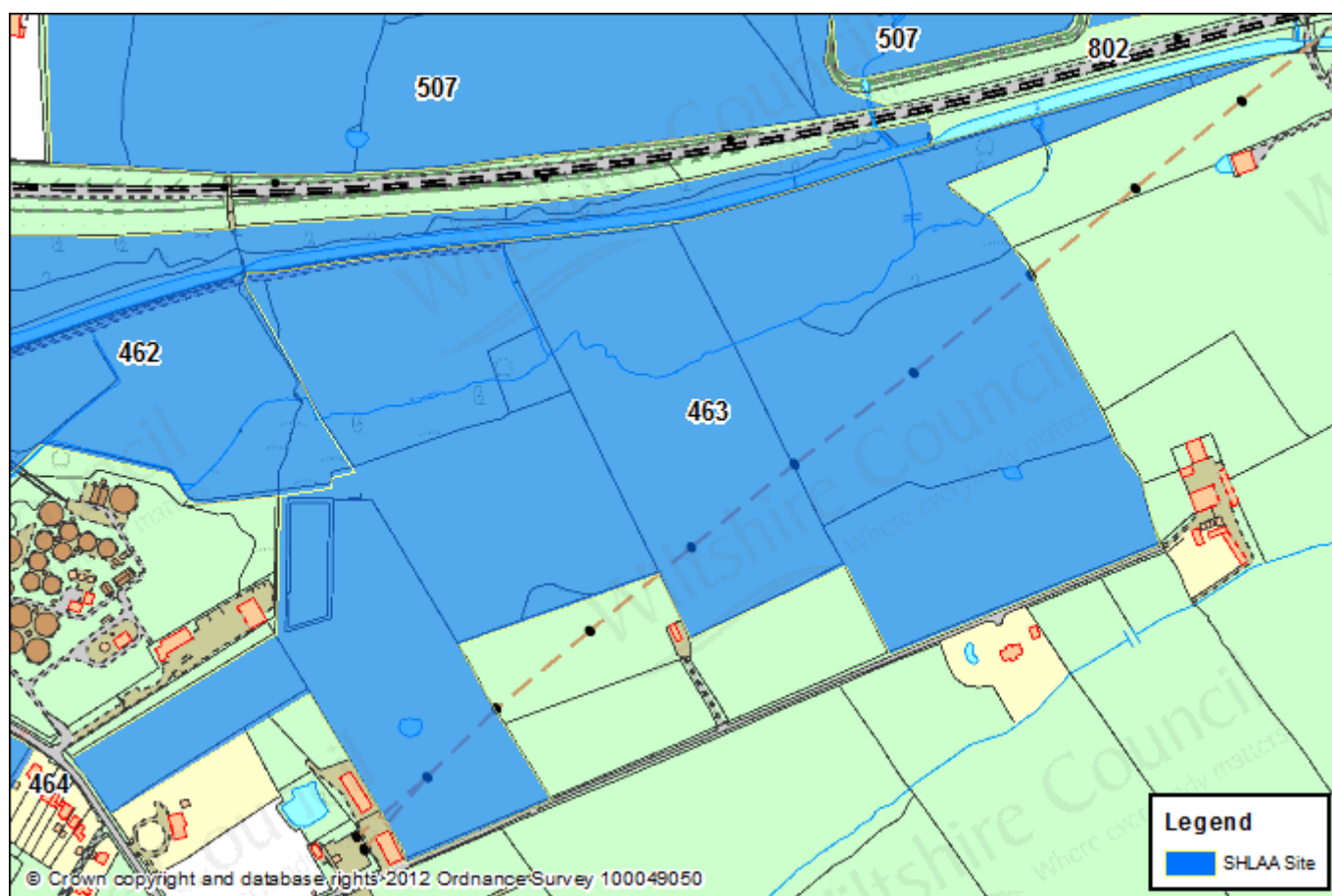
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 463-Land South of Royal Wootton Bassett - Part B



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Royal Wootton Bassett - Part B		
Settlement	Royal Wootton Bassett		
Gross site area	30.00ha	Previous use	Agricultural
Suitable site area ¹	26.06 ha		
Reason for smaller suitable area	Part of the site is within the green belt , Part of the site is within a flood risk zone,		
Developable Site Area ²	13.03ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	391	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

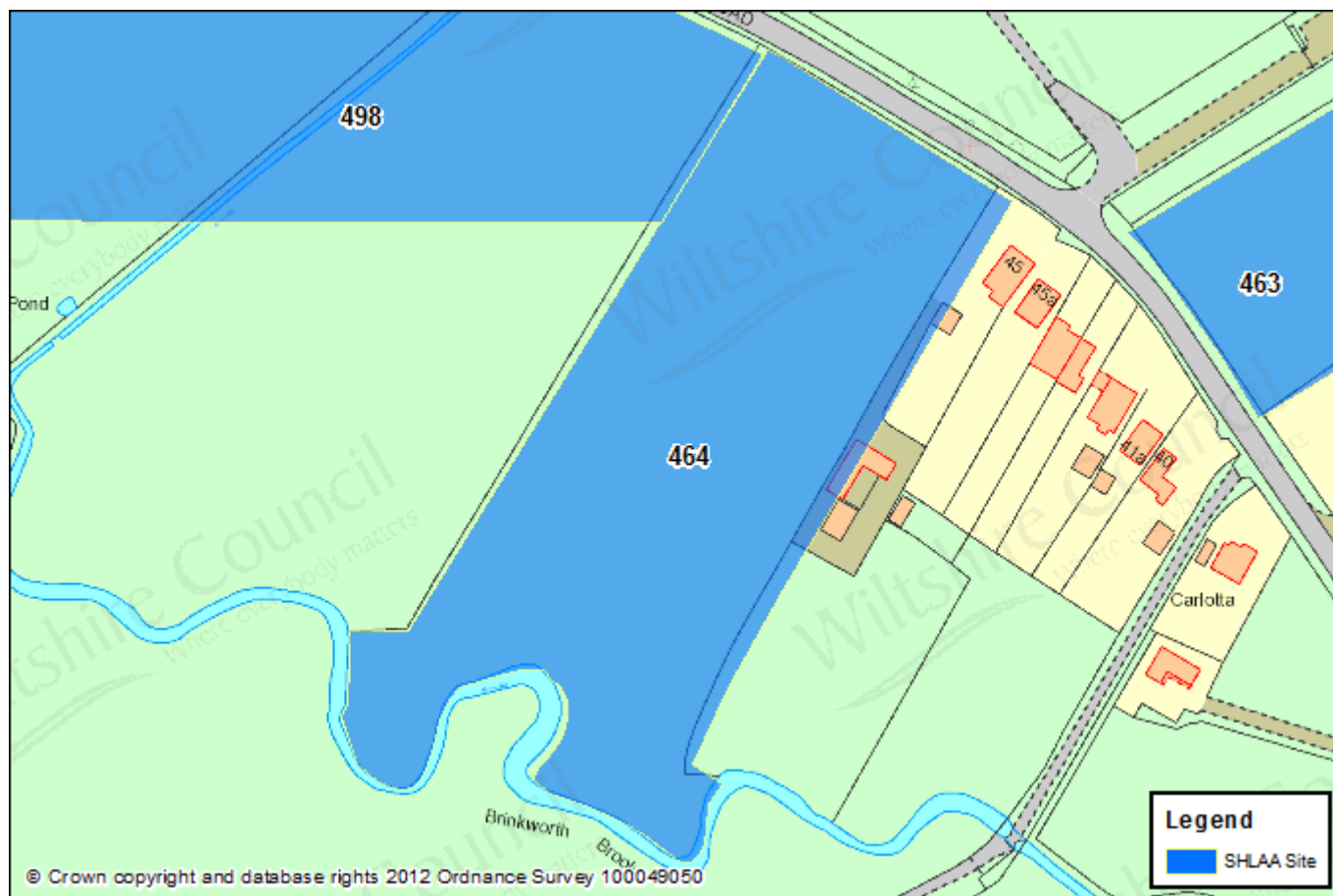
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 464-Land South of Royal Wootton Bassett - Part C



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land South of Royal Wootton Bassett - Part C		
Settlement	Royal Wootton Bassett		
Gross site area	1.63ha	Previous use	Agricultural
Suitable site area ¹	1.17 ha		
Reason for smaller suitable area	Part of the site is within a flood risk zone,		
Developable Site Area ²	0.94ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	28	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

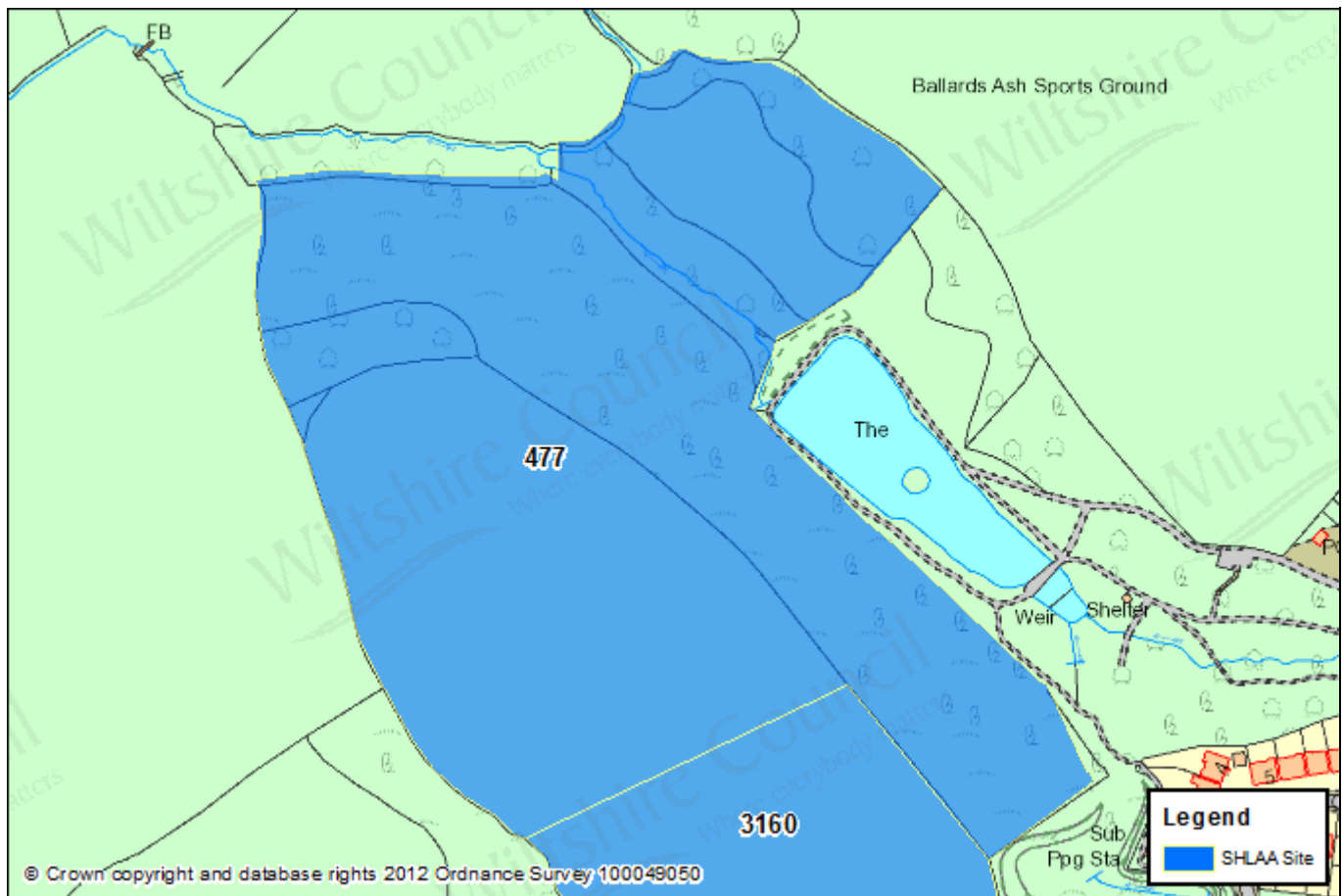
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 477-Land West of Maple Drive



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Land West of Maple Drive		
Settlement	Royal Wootton Bassett		
Gross site area	7.28ha	Previous use	Agricultural
Suitable site area ¹	7.28 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	5.46ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within or adjacent to a County Wildlife Site Within or adjacent to a Local Nature Reserve Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	164	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

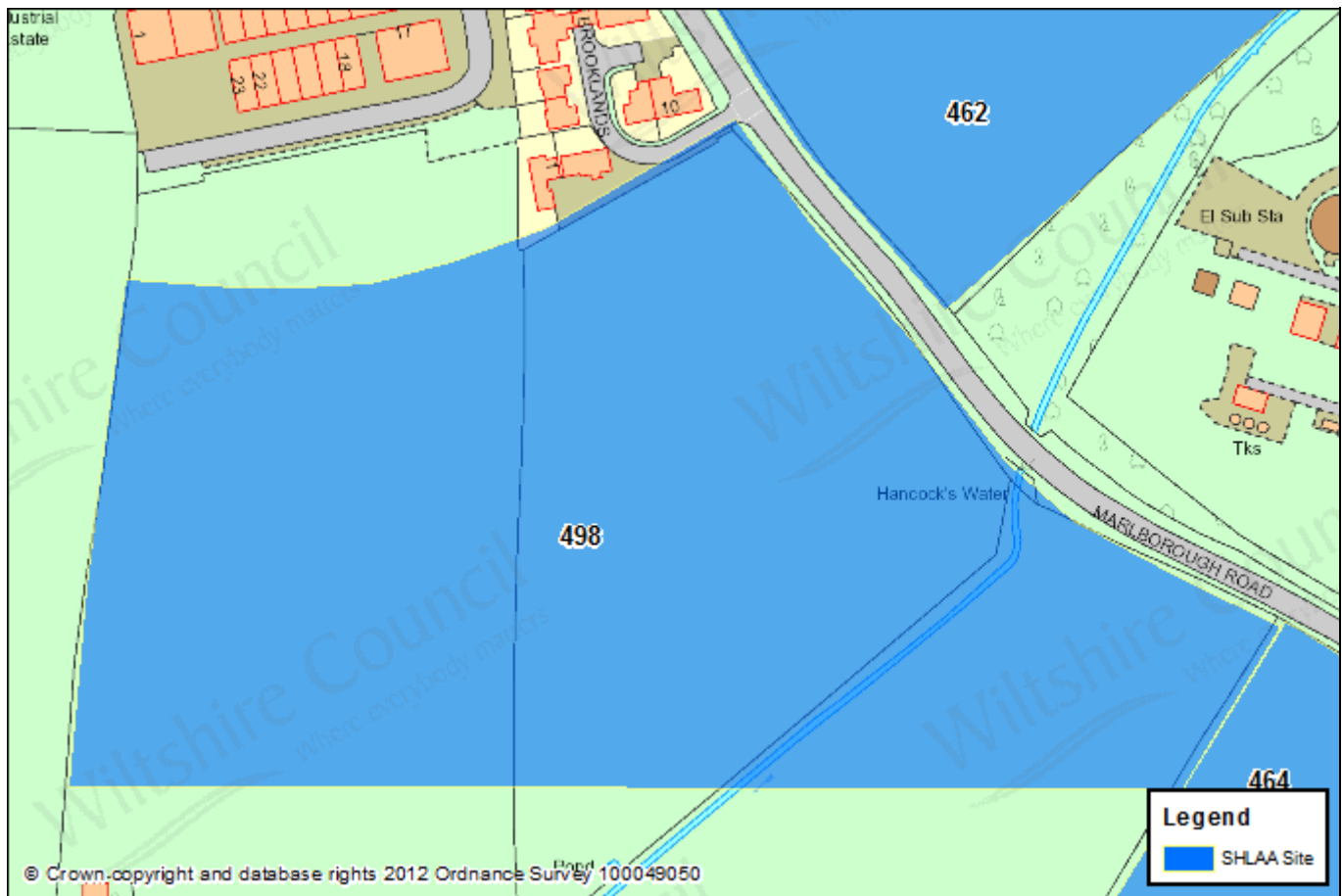
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 498-Templars Way Industrial Estate



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Templars Way Industrial Estate		
Settlement	Royal Wootton Bassett		
Gross site area	4.21ha	Previous use	Agricultural
Suitable site area ¹	3.61 ha		
Reason for smaller suitable area	Part of the site has recently been developed, Part of the site is assessed as a commitment so is included elsewhere, Part of the site is within a flood risk zone,		
Developable Site Area ²	2.71ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	81	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

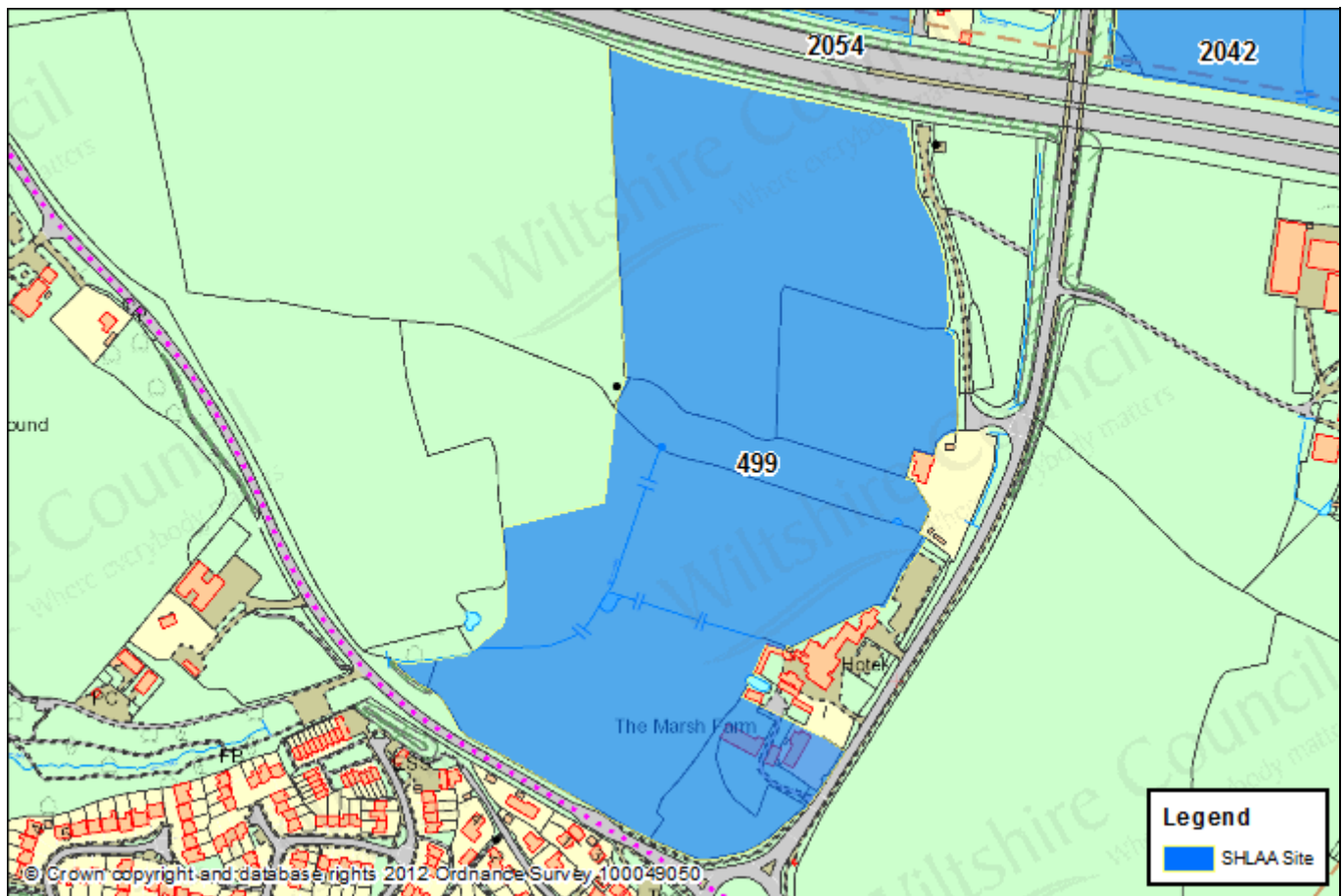
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 499-Marsh Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Marsh Farm		
Settlement	Royal Wootton Bassett		
Gross site area	13.12ha	Previous use	Agricultural
Suitable site area ¹	13.12 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere,		
Developable Site Area ²	6.56ha	Gross-to-Net factor	0.50
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	292	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

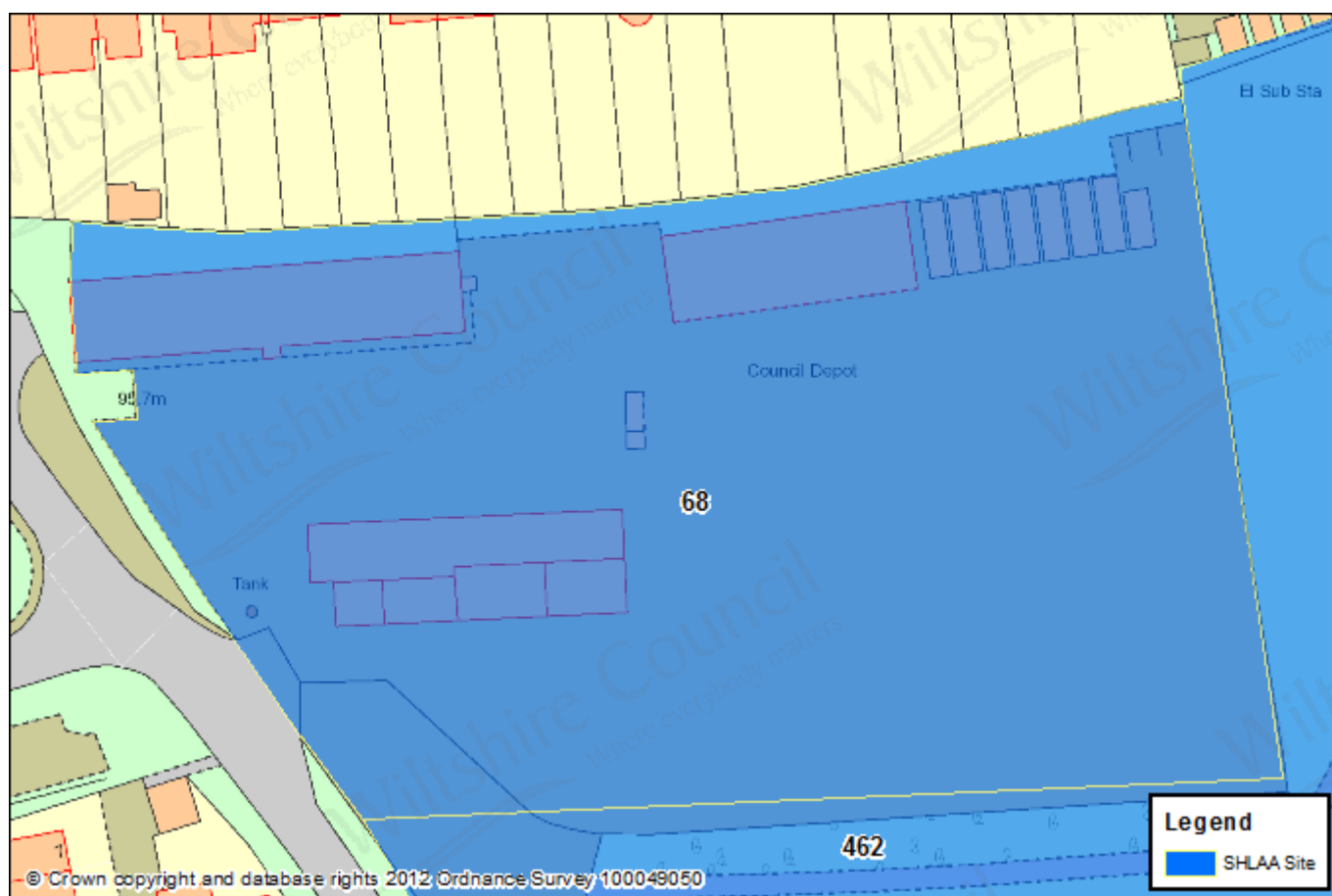
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 68-Transport Depot



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Transport Depot		
Settlement	Royal Wootton Bassett		
Gross site area	1.09ha	Previous use	Industrial
Suitable site area ¹	1.09 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.87ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	26	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

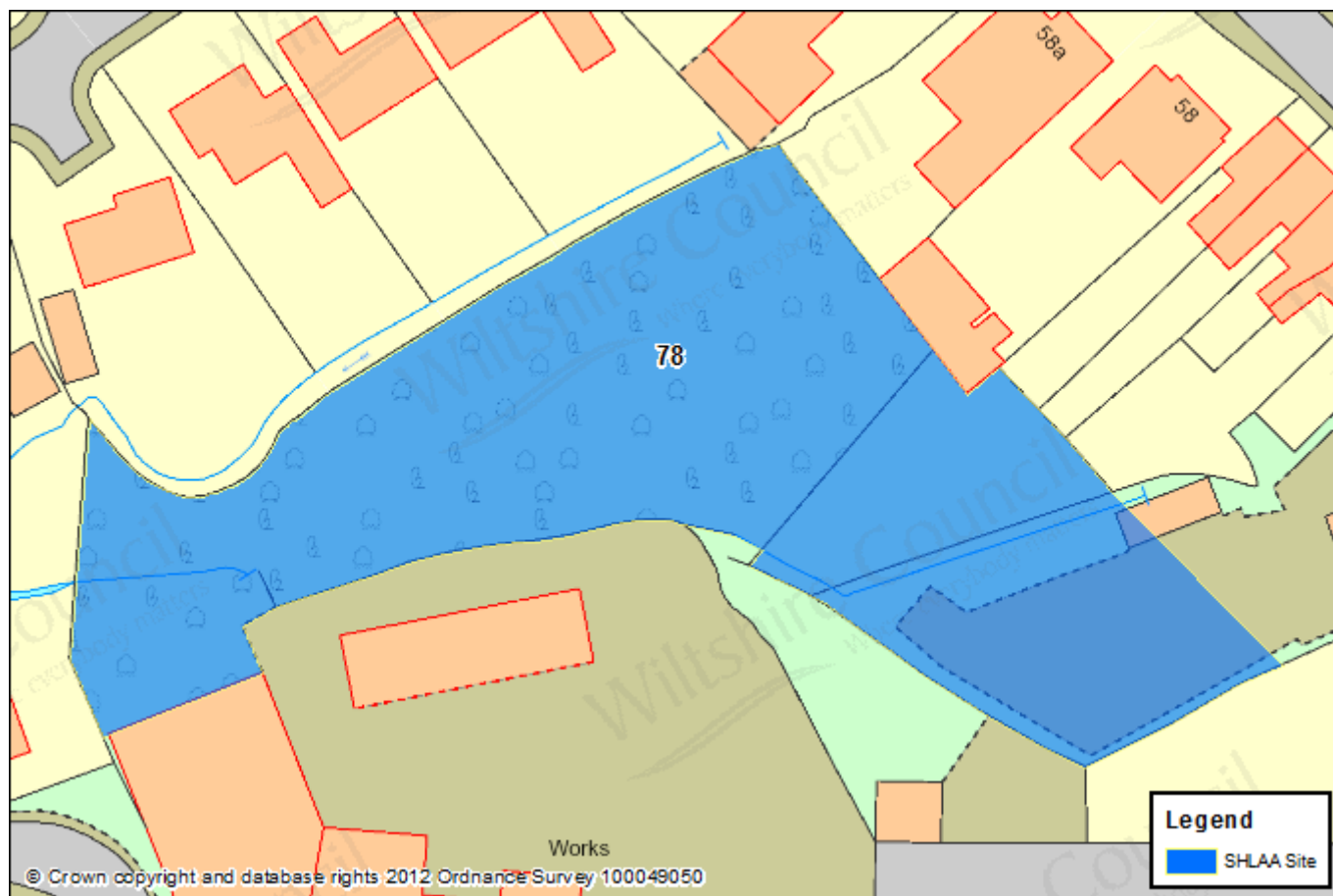
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 78-Rear of Public House, off Station Road



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Rear of Public House, off Station Road		
Settlement	Royal Wootton Bassett		
Gross site area	0.34ha	Previous use	Industrial
Suitable site area ¹	0.34 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.30ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	9	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

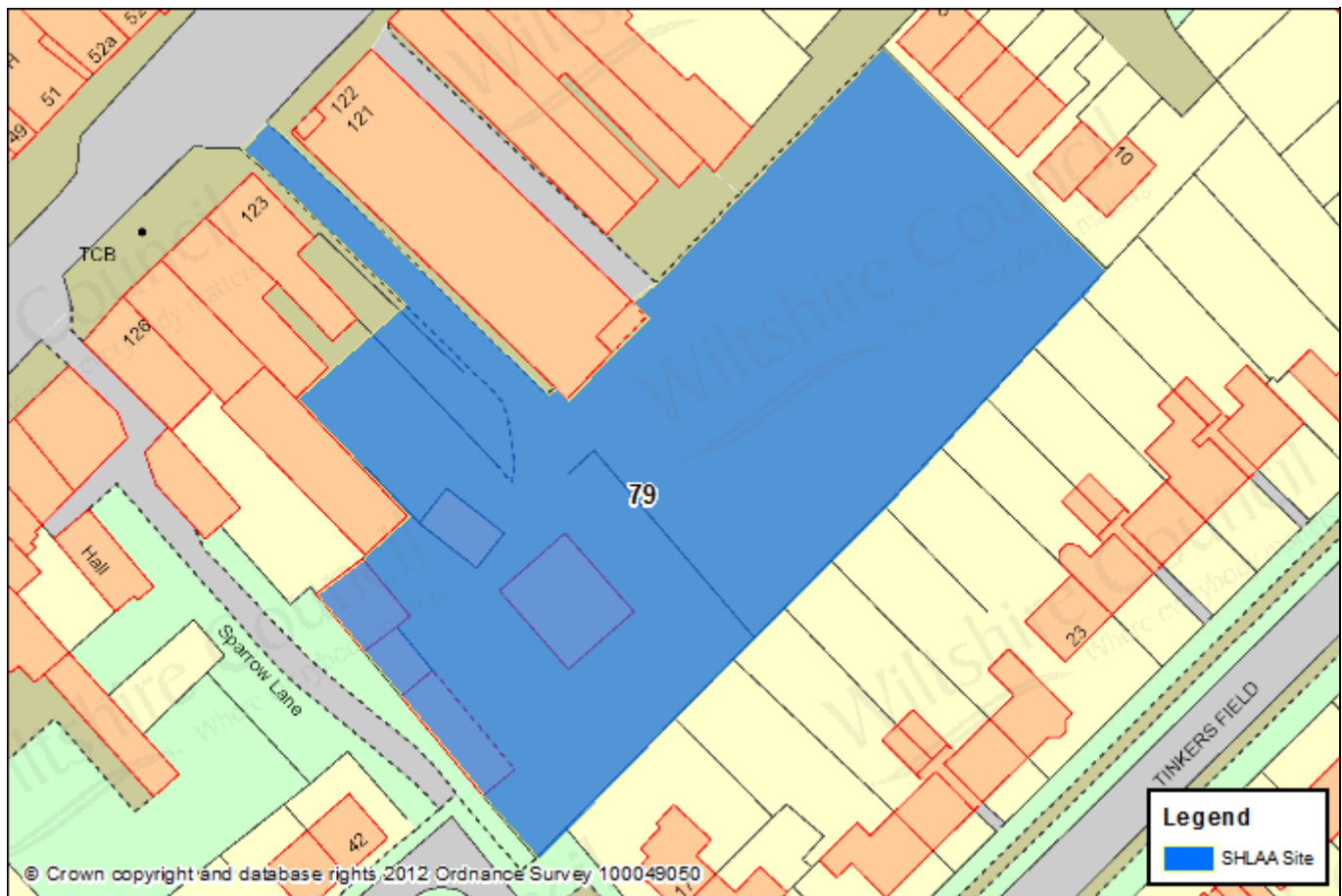
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 79-Rear of Iceland and Post Office



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Rear of Iceland and Post Office		
Settlement	Royal Wootton Bassett		
Gross site area	0.42ha	Previous use	Industrial
Suitable site area ¹	0.42 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.34ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	10	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

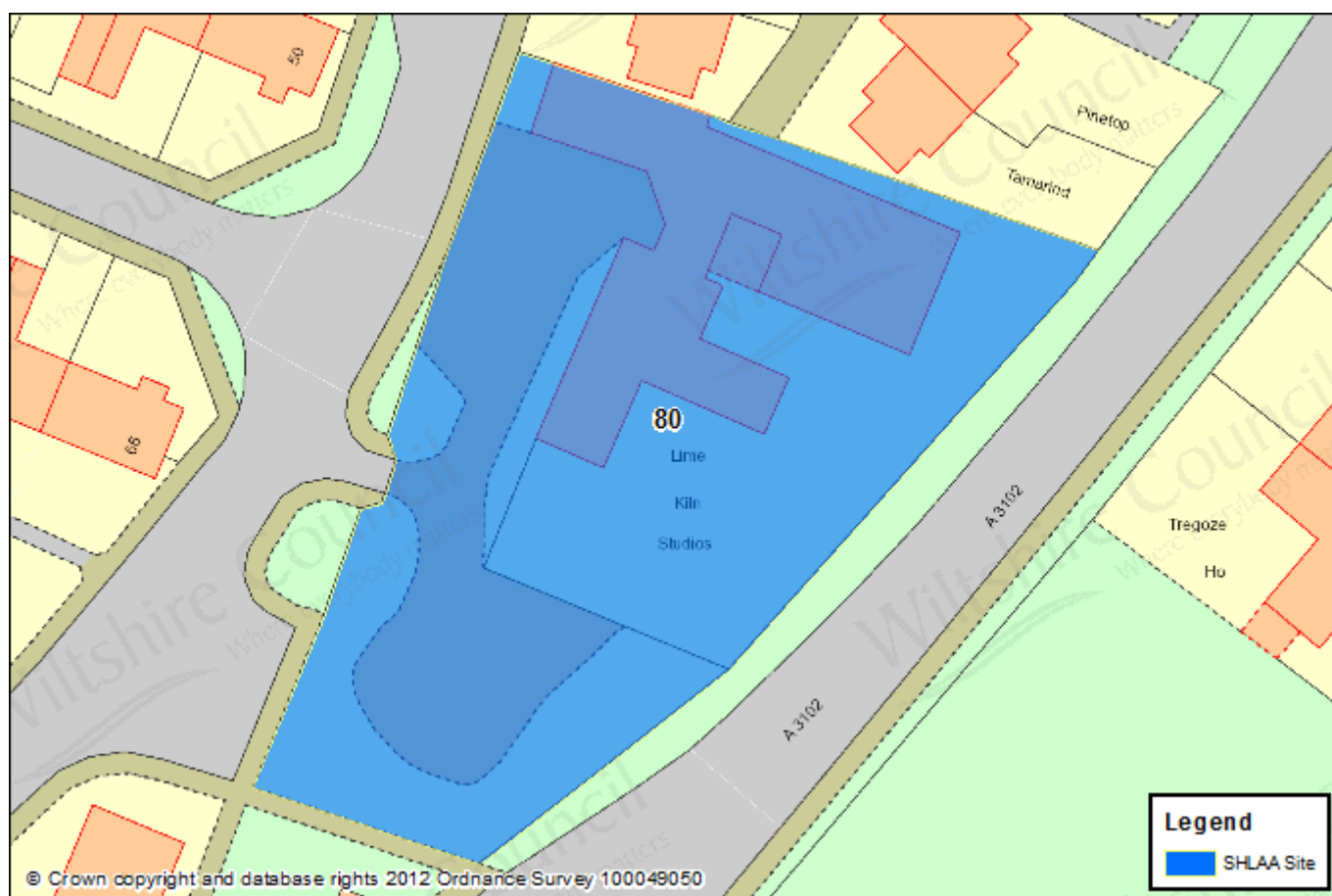
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 80-Radio Station



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Radio Station		
Settlement	Royal Wootton Bassett		
Gross site area	0.26ha	Previous use	Industrial
Suitable site area ¹	0.26 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.23ha	Gross-to-Net factor	0.90
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone	Contains or adjacent to a Listed Building	
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use	Leasehold		
Availability	Not available at present as subject to continuing use or leasehold		
Capacity ⁴	7	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

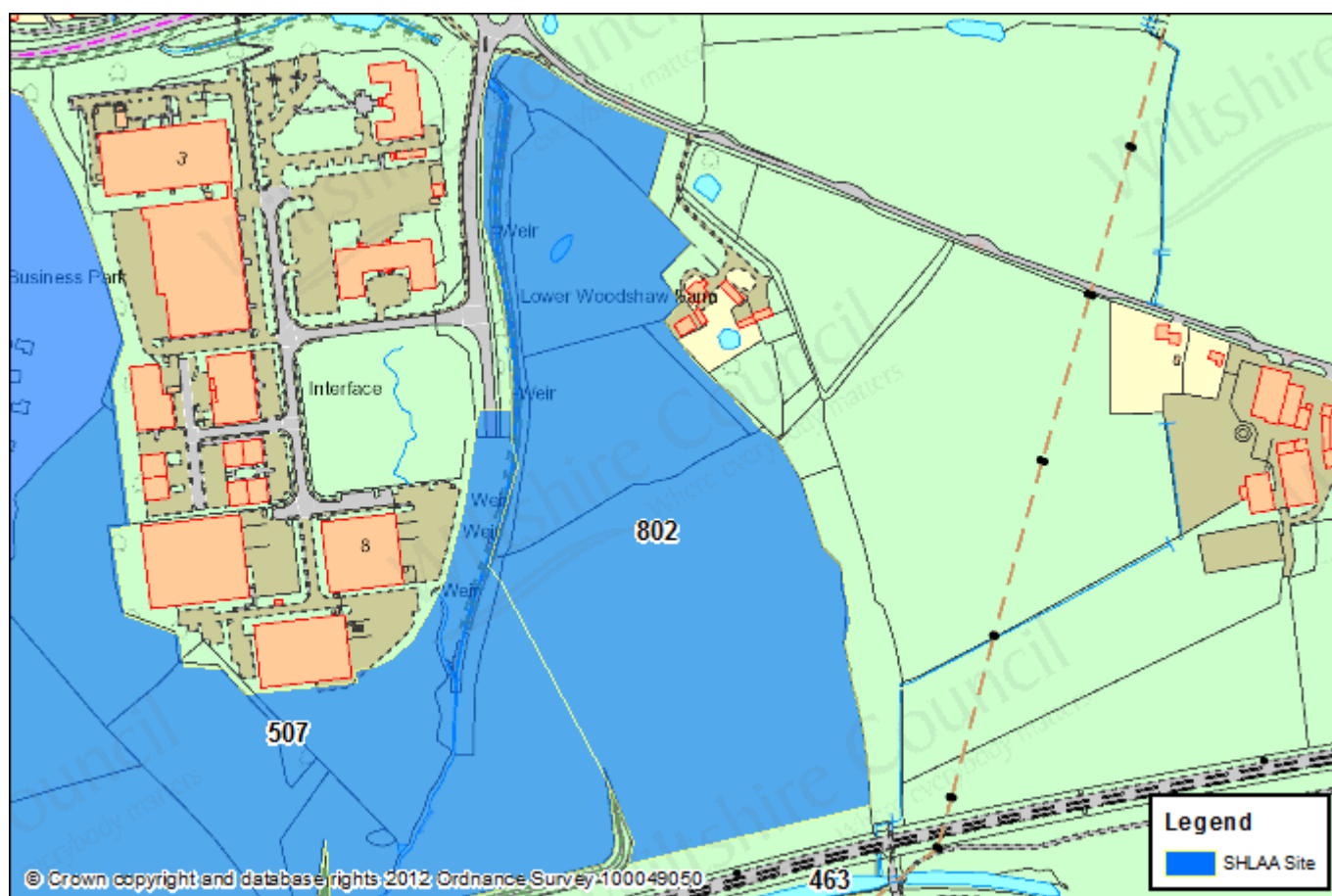
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 802-Lower Woodshaw Farm



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Lower Woodshaw Farm		
Settlement	Royal Wootton Bassett		
Gross site area	10.31ha	Previous use	Agricultural
Suitable site area ¹	2.35 ha		
Reason for smaller suitable area	Part of the site is assessed as a commitment so is included elsewhere, Part of the site is within a flood risk zone,		
Developable Site Area ²	1.76ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Resource Zone		
Suitability	Suitable subject to potential constraints		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	200	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

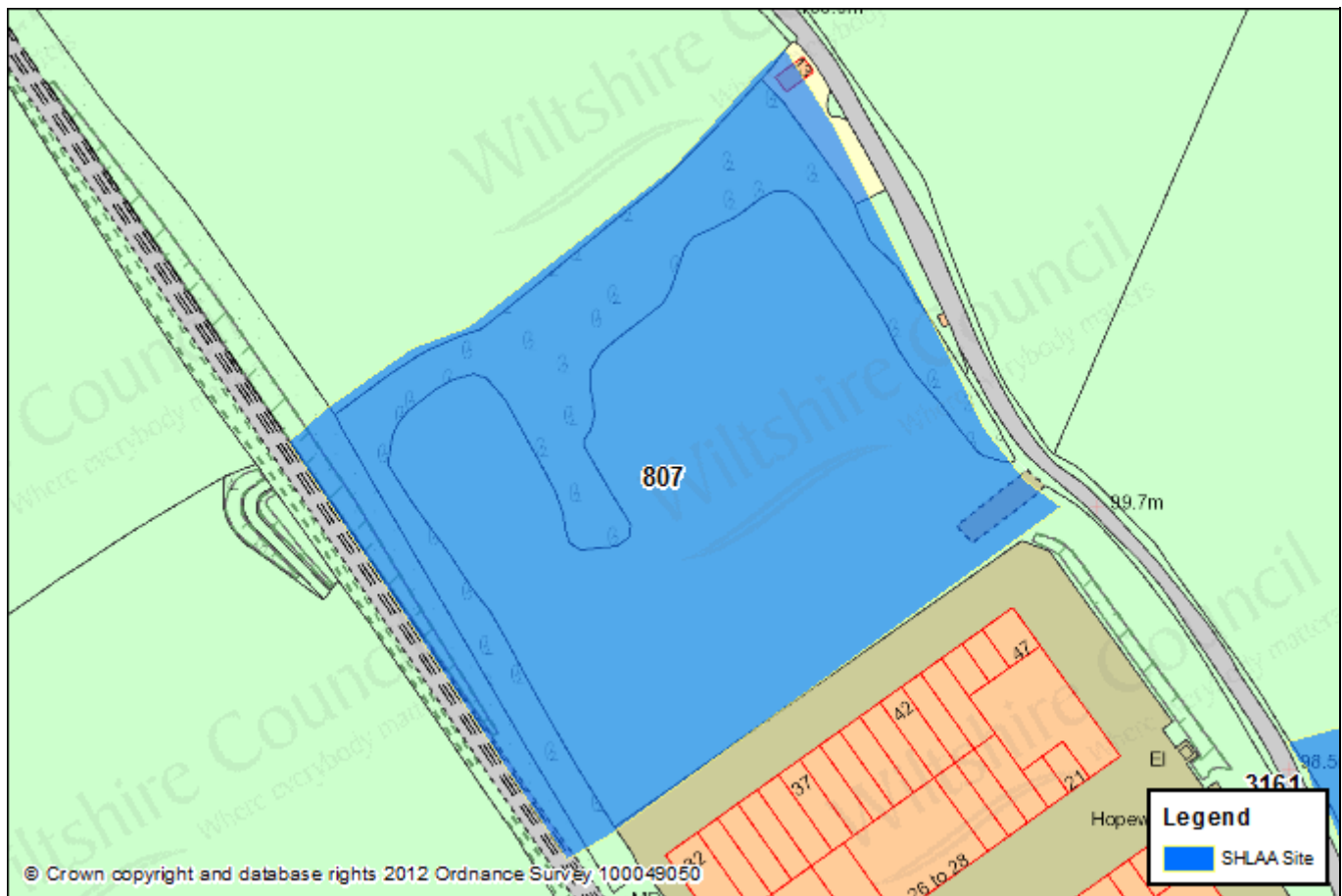
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 807-North west of the Whitehill Lane industrial estate



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	North west of the Whitehill Lane industrial estate		
Settlement	Royal Wootton Bassett		
Gross site area	4.10ha	Previous use	Agricultural
Suitable site area ¹	4.10 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	3.08ha	Gross-to-Net factor	0.75
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Single ownership		
Leasehold/Continuing Use			
Availability	Available		
Capacity ⁴	92	Deliverable within 5 years	Yes
Deliverable in 6-10 years	No	Deliverable in 11-15 years	No

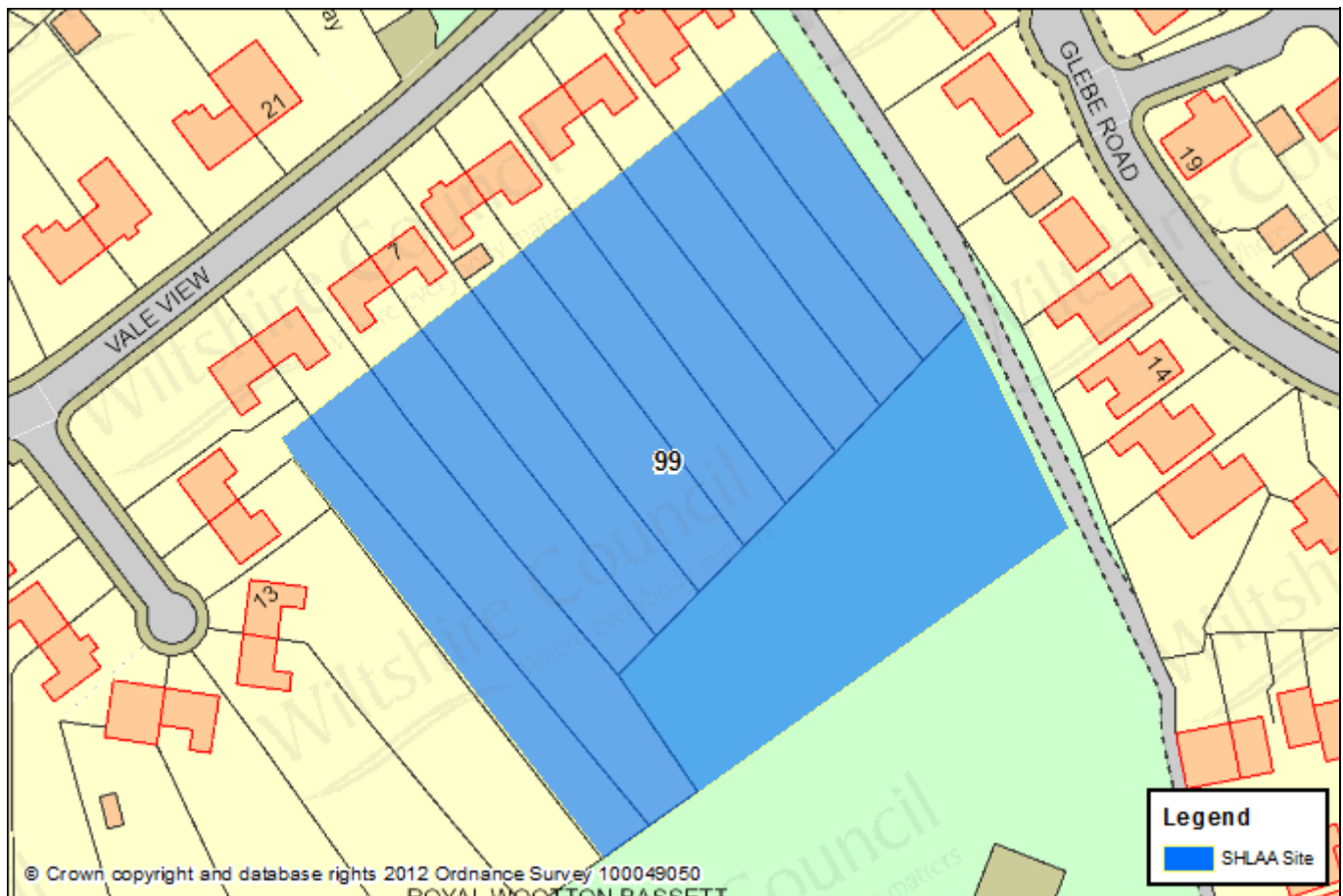
¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.

Site 99-Rear of 1 to 10



Community Area	Royal Wootton Bassett & Cricklade Community Area	Emerging HMA	North & West HMA
Site Address	Rear of 1 to 10		
Settlement	Royal Wootton Bassett		
Gross site area	0.74ha	Previous use	Agricultural
Suitable site area ¹	0.74 ha		
Reason for smaller suitable area	None		
Developable Site Area ²	0.59ha	Gross-to-Net factor	0.80
Proportion Viable ³	100%		
Potential Suitability Constraints	Within a Minerals Safeguarding Zone		
Suitability	Suitable		
Ownership	Multiple or unknown ownership		
Leasehold/Continuing Use			
Availability	Not available at present as in multiple or unknown ownership		
Capacity ⁴	18	Deliverable within 5 years	No
Deliverable in 6-10 years	Yes	Deliverable in 11-15 years	Yes

¹ The suitable area discounts any areas that are considered unsuitable as they lie in areas that; have recently been developed, are subject to extant planning permission (and so are assessed as commitments), are designated as employment sites, Greenbelt, SSSI, Flood Risk Zones 2 or 3, recreation sites or Health and Safety Executive exclusion zones.

² The developable area makes an allowance for a proportion of the site to be used for non-residential uses.

³ The proportion viable reflects an assumed proportion of all sites in this Community Area that are assumed to be viable based on a large sample of sites.

⁴ This identifies the potential capacity of the site if it is considered viable. No site specific viability assessment has been undertaken, but rather the cumulative viability has been assessed for each Community Area using the viability proportion.